



Bylaw Amendment Application

Referral Form – RDCK File Z2304G

Amendment to Zoning Bylaw No. 2452

Date: June 14, 2023

You are requested to comment on the attached DEVELOPMENT PERMIT for potential effect on your agency's interests. We would appreciate your response WITHIN 30 DAYS (PRIOR TO JULY 14, 2023). If no response is received within that time, it will be assumed that your agency's interests are unaffected.

PRESENT USE AND PURPOSE OF THE BYLAW AMENDMENT:

The subject property is located in Electoral Area 'G' in Hall Siding along Highway 6, just west of Whitewater Ski Hill Road. The property is currently a vacant lot.

The purpose of this application is to rezone the subject property from Tourist Commercial (C2) to Tourist Commercial (C2) Site Specific. This is being sought to facilitate the development of tourist accommodations and associated buildings on the subject property with on-site servicing. The proposed development includes eight cabins with twelve sleeping rooms as well as one communal building. The communal building is proposed to contain a commercial kitchen, laundry facilities and storage space as well as a coffee shop. The coffee shop will be open to the public. The communal building and property is also intended to be used as a wedding venue.

LEGAL DESCRIPTION & GENERAL LOCATION:

4626 Highway 6, Hall Siding, Electoral Area 'G'
LOT 1 DISTRICT LOT 1241 KOOTENAY DISTRICT PLAN EPP121813
PID: 031-873-529

AREA OF PROPERTY AFFECTED	ALR STATUS	ZONING DESIGNATION	OCF DESIGNATION
1.0 Ha (2.47 Ac)	n/a	Tourist Commercial (C2)	Tourist Commercial (TC)

APPLICANT:

Rumbling Creek Resort

OTHER INFORMATION: ADVISORY PLANNING COMMISSION PLEASE NOTE:

If your Advisory Planning Commission plans to hold a meeting to discuss this Bylaw Amendment application, please note that the applicants must be provided with an opportunity to attend such meeting, in accordance with Section 461, subsection (8) of the *Local Government Act*, which reads as follows:

"If the commission is considering an amendment to a plan or bylaw, or the issue of a permit, the applicant for the amendment or permit is entitled to attend meetings of the commission and be heard."

Please fill out the Response Summary on the back of this form. If your agency's interests are 'Unaffected' no further information is necessary. In all other cases, we would appreciate receiving additional information to substantiate your position and, if necessary, outline any conditions related to your position. Please note any legislation or official government policy which would affect our consideration of this permit.

**SADIE CHEZENKO, PLANNER
REGIONAL DISTRICT OF CENTRAL KOOTENAY**

<input checked="" type="checkbox"/> TRANSPORTATION West Kootenay	<input type="checkbox"/> FIRST NATIONS
<input checked="" type="checkbox"/> HABITAT BRANCH	<input checked="" type="checkbox"/> KTUNAXA NATION COUNCIL (ALL REFERRALS)

- FRONT COUNTER BC (FLNRORD)
- AGRICULTURAL LAND COMMISSION
- REGIONAL AGROLOGIST
- ENERGY & MINES
- MUNICIPAL AFFAIRS & HOUSING
- INTERIOR HEALTH HBE Team, Nelson
- KOOTENAY LAKES PARTNERSHIP
- SCHOOL DISTRICT NO.
- WATER SYSTEM OR IRRIGATION DISTRICT
- UTILITIES (FORTIS, BC HYDRO, NELSON HYDRO, COLUMBIA POWER)
- REGIONAL DISTRICT OF CENTRAL KOOTENAY
- DIRECTORS FOR:
- A B C D E F G H I J
- K
- ALTERNATIVE DIRECTORS FOR:
- A B C D E F G H I J
- K
- APC AREA G
- RDCK FIRE SERVICES – DISTRICT CHIEF (BY AREA)
- RDCK EMERGENCY SERVICES
- RDCK BUILDING SERVICES
- RDCK UTILITY SERVICES
- RDCK REGIONAL PARKS

- YAQAN NU?KIY (LOWER KOOTENAY)
- ?AKINK'UM?ASNUQ?I?IT (TOBACCO PLAINS)
- ?AKISQNUK (COLUMBIA LAKE)
- ?AQ'AM (ST. MARY'S)
- OKANAGAN NATION ALLIANCE
 - C'ƏC'ƏWIXA? (UPPER SIMILKAMEEN)
 - K?K'ƏR'MÍWS (LOWER SIMILKAMEEN)
 - SNPÍNTKTN (PENTICTON)
 - STQA?TKWƏ?WT (WEST BANK)
 - SUKNAQÍN?X (OKANAGAN)
 - SWÍWS (OSOYOOS)
 - SPAXOMƏN (UPPER NICOLA)
- SHUSWAP NATION TRIBAL COUNCIL
 - KENPÉSQT (SHUSWAP)
 - QW?EWT (LITTLE SHUSWAP)
 - SEXQELTQÍN (ADAMS LAKE)
 - SIMPCW ((SIMPCW)
 - SKEMTSIN (NESKONLITH)
 - SPLATSÍN (SPLATSÍN FIRST NATION)
 - SKEETCHESTN INDIAN BAND
 - TK'EMLUPS BAND

The personal information on this form is being collected pursuant to *Regional District of Central Kootenay Planning Procedures and Fees Bylaw No. 2457, 2015* for the purpose of determining whether the application will affect the interests of other agencies or adjacent property owners. The collection, use and disclosure of personal information are subject to the provisions of FIPPA. Any submissions made are considered a public record for the purposes of this application. Only personal contact information will be removed. If you have any questions about the collection of your personal information, contact the Regional District Privacy Officer at 250.352.6665 (toll free 1.800.268.7325), info@rdck.bc.ca, or RDCK Privacy Officer, Box 590, 202 Lakeside Drive, Nelson, BC V1L 5R4.

RESPONSE SUMMARY

FILE: Z2304G APPLICANT: RUMBLING CREEK RESORT

Name:

Date:

Agency:

Title:

RETURN TO: SADIE CHEZENKO, PLANNER
DEVELOPMENT AND COMMUNITY SUSTAINABILITY SERVICES
REGIONAL DISTRICT OF CENTRAL KOOTENAY
BOX 590, 202 LAKESIDE DRIVE
NELSON, BC V1L 5R4
Ph. 250-352-1585
Email: plandept@rdck.bc.ca

RDCK Map






Esri Community Maps
Contributors, Esri Canada,
Esri, HERE, Garmin,
SafeGraph,
GeoTechnologies, Inc.



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Box 590, 202 Lakeside Drive,
Nelson, BC V1L 5R4
Phone: 1-800-268-7325 www.rdck.bc.ca
maps@rdck.bc.ca

Legend

-  Electoral Areas
-  RDCK Streets
-  Cadastre

Map Scale:

1:18,056

Date: June 14, 2023



The mapping information shown are approximate representations and should only be used for reference purposes. The Regional District of Central Kootenay is not responsible for any errors or omissions on this map.

RDCK Map







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Legend

-  Electoral Areas
-  RDCK Streets
-  Cadastre
-  Address Points

Map Scale:

1:4,514

Date: June 14, 2023



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Zoning Class

- Commercial
- Forest Resource/
Reserve
- Parks and Recreation
- Public Utility

Legend

- Lakes and Rivers
- Streams and Shorelines
- Electoral Areas
- RDCK Streets
- Cadastre
- Address Points

Map Scale:

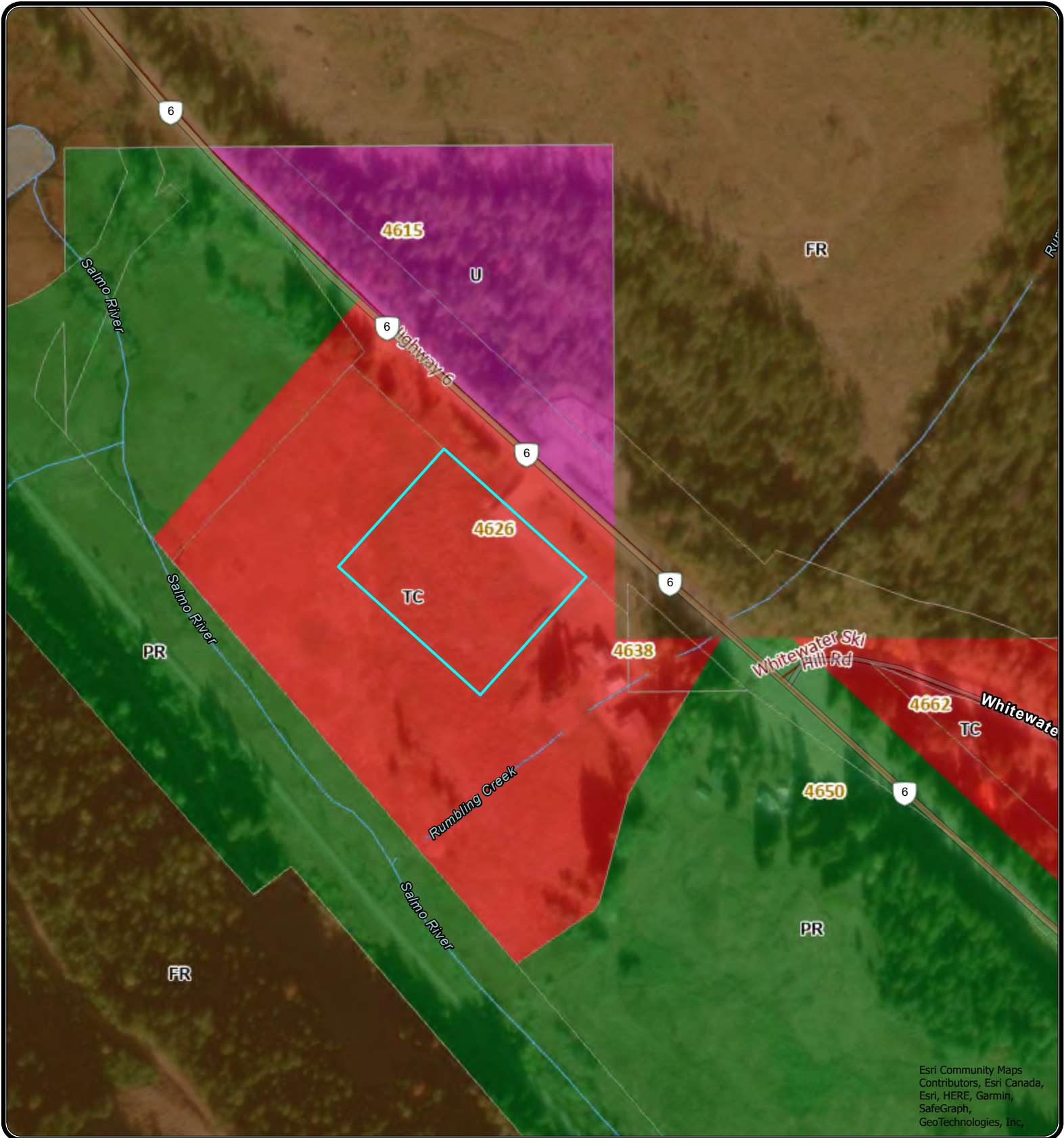
1:4,514

Date: June 14, 2023



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RDCK Map













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Legend

- | | | | |
|---|-------------------------------------|---|------------------------|
|  | Commercial |  | Lakes and Rivers |
|  | Forest Reserve |  | Streams and Shorelines |
|  | Parks and Recreation |  | Electoral Areas |
|  | Utility, Railway and Transportation |  | RDCK Streets |
| | |  | Cadastre |
| | |  | Address Points |

Map Scale:

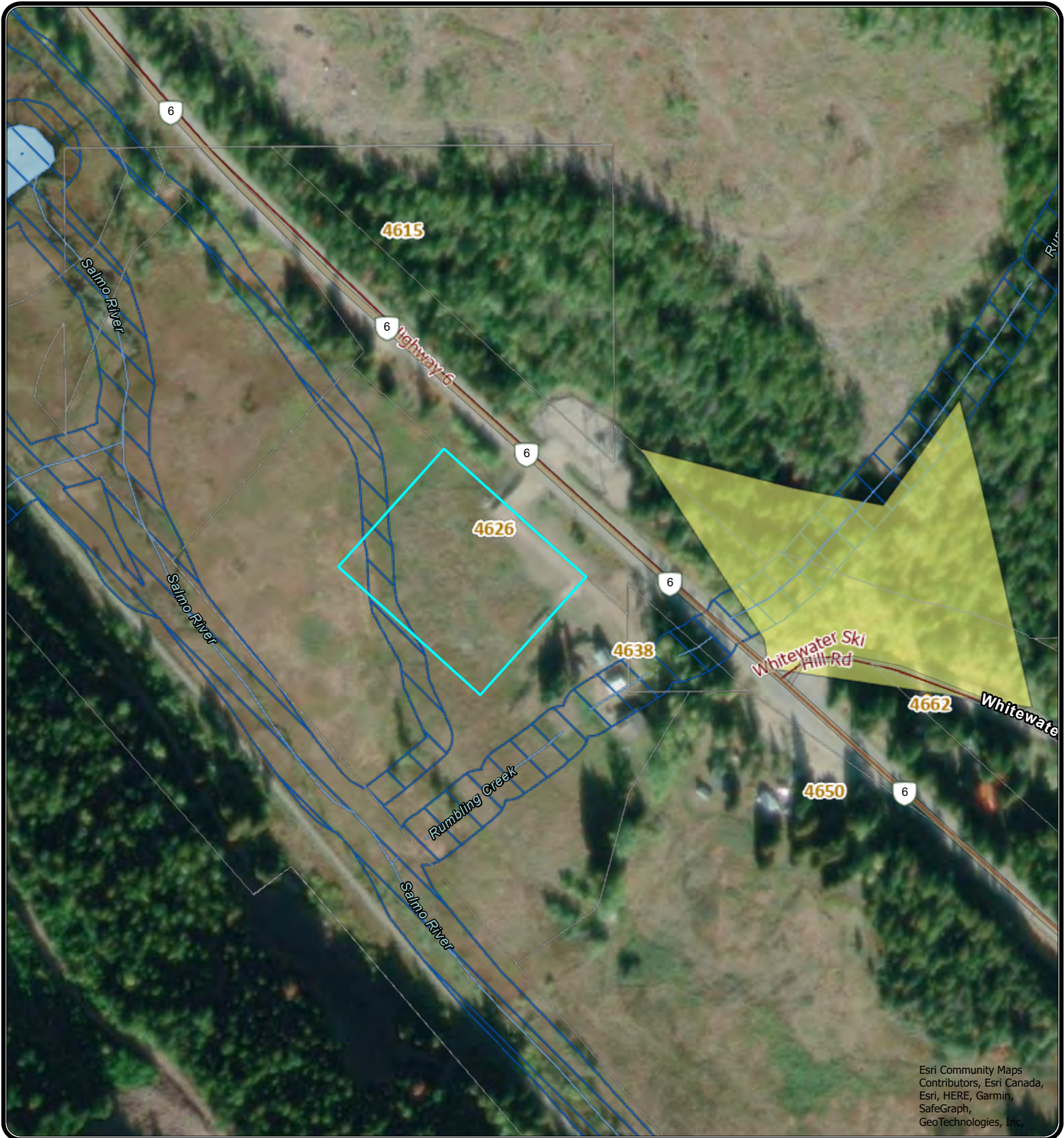
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Legend

- Non Standard Flooding Erosion Area
- Streams and Shorelines
- Electoral Areas
- RDCK Streets
- Cadastre
- Watercourse
- Lakes and Rivers
- Address Points

Development Permit Areas

Map Scale:

1:4,514

Date: June 14, 2023



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Bylaw Amendment (Zoning) Application – Attachment F Proposal Summary

The current zoning for the subject Property 'Lot 1 District Lot 1241 Kootenay District Plan EPP121813; PID: 031-873-529' is designated as Tourist Commercial (C2) in Section 25.0 of Schedule B – Electoral Area 'G' Land Use Bylaw No. 2452, 2018.

Relevant to this Application, the C2 Zoning allows for 'Tourist Accommodation', 'Vacation Rental' and 'Mixed Use Development' as 'Principal Uses' with a 'Personal Service Establishment', 'Retail Store', 'Accessory Building or Structures' and 'Accessory Dwelling' as Accessory Uses to 'Tourist Accommodation'.

Separately, in Section 17.0 Interpretation, "'Tourist Accommodation' means land buildings or structures containing sleeping units each with an exterior or interior entrance and designed to provide temporary accommodation for the travelling public. 'Tourist Accommodation' may include cabins, hotels, motels and lodges;".

As the subject Property is 2.5 acres, or 1.0 hectares, it is interpreted that the current minimum lot area will only allow for 'one sleeping room' to be operated as 'Tourist Accommodation' with 'On-site Water Source and On-site Wastewater Source'. This insinuates that a 'Principal Use' of 'Tourist Accommodation' is unattainable at a reasonable scale, despite the desirable C2 Zoning and 'On-site Water and Wastewater Sources' being assessed and proven to support the proposed density.

Rumbling Creek Resort Ltd. (the 'Applicant') is proposing eight (8) cabins and one larger communal building to be constructed on the subject Property and operated as 'Tourist Accommodation'. The cabins will consist of four (4) one-bedroom cabins and four (4) two-bedroom cabins, for a total of twelve (12) sleeping rooms, accommodating a daily average of 20 occupants. The communal building will include provision for servicing the cabins (storage, laundry, water treatment, garage etc.) and a 'Retail Store' to operate as a coffee shop, commercial kitchen and wedding venue. The subject Property will be serviced by an on-site water well and on-site septic system, suitable for the size of development and in compliance with all relevant regulations.

The Applicant considers the 2.5 acres, or 1.0 hectares, size of the subject Property to be sufficient to accommodate the proposed development, including on-site water and septic servicing. Given the subject Property's rural setting that is bound by Salmo River to the West, undevelopable land to the North, Highway 3 to the East and a C2 Zoned property to the South (currently a residential acreage), the Applicant believes that surrounding receptors will see negligible negative impacts when the environment is taken into consideration during each phase of design, development, construction and operation. These considerations include adherence to riparian setback regulations, noise and line-of-sight abatement between the highway and adjacent residential property, natural landscaping with local rock and plant species, minimization of hard surfacing, construction best practices and education of guests on how to reduce their impacts on the river valley ecosystem. The Applicant also interprets that the proposed development is in-line with the RDCK's vision for local commercial businesses to support Tourism, including visitation to the Whitewater Ski Resort, Nelson Nordic Ski Club, Great Northern Rail Trail and Cottonwood Lake.

Based on the proposed development with twelve (12) sleeping rooms, the land size currently required to support the proposed development is interpreted as 4.25 acres, or 1.72 hectares, under the C2 Zoning.

Bylaw Amendment (Zoning) Application – Attachment F Proposal Summary

The Applicant proposes that the existing bylaw regulation wording:

DEVELOPMENT REGULATIONS TABLE FOR C2 ZONE		
2	Minimum lot area for each Principal Use:	
	On-site Water Source and On-site Wastewater Disposal	
	Tourist Accommodation, Resort	
	First Sleeping Room	1.0 hectares
	Each additional sleeping room	600 square metres
	Other permitted uses	1.0 hectares

Be replaced with:

DEVELOPMENT REGULATIONS TABLE FOR C2 ZONE		
2	Minimum lot area for each Principal Use:	
	On-site Water Source and On-site Wastewater Disposal	
	Tourist Accommodation, Resort	
	First Sleeping Room	1.0 hectares
	Each additional sleeping room, to a total of 12 Sleeping Rooms	0 additional square metres
	Other permitted uses	1.0 hectares

Apart from the foregoing, the Applicant believes that the proposed development conforms to all relevant Bylaws and guidelines developed and implemented by the RDCK, including Bylaws No. 2452 and No. 2080.

25.0 TOURIST COMMERCIAL (C2)

PERMITTED USES TABLE FOR C2 ZONE	
1	<p>Principal Uses</p> <ul style="list-style-type: none"> Artisan Craft Production and Sales Breweries and Distilleries Campground Commercial Back Country Recreation Dwellings, Multi-Family Eating and Drinking Establishment Golf Course Tourist Accommodation Interpretive Facilities Mixed Use Development Museum Outdoor Recreational Activities Resort Vacation Rental <p>Accessory Uses to 'Tourist Accommodation' and 'Campgrounds'</p> <ul style="list-style-type: none"> Laundromat Liquor Store Personal Service Establishment Retail Store <p>Accessory Uses</p> <ul style="list-style-type: none"> Accessory Building or Structures Accessory Dwelling

DEVELOPMENT REGULATIONS TABLE FOR C2 ZONE		
2	<p>Minimum lot area for each Principal Use:</p> <ul style="list-style-type: none"> Community Water System and Community Wastewater System <ul style="list-style-type: none"> Tourist Accommodation, Resort First sleeping room Each additional sleeping room Other permitted uses Community Water System and On-site Wastewater Disposal or Individual Water Source and Community Wastewater System <ul style="list-style-type: none"> Tourist Accommodation, Resort First sleeping room Each additional sleeping room Other permitted uses 	<ul style="list-style-type: none"> 0.2 hectares 200 square metres 0.2 hectares 0.4 hectares 400 square metres 0.4 hectares

	<p>On-site Water Source and On-site Wastewater Disposal</p> <p>Tourist Accommodation, Resort</p> <p>First sleeping room</p> <p>Each additional sleeping room</p> <p>Other permitted uses</p>	<p>1.0 hectares</p> <p>600 square metres</p> <p>1.0 hectares</p>
3	Minimum front setback	4.5 metres
4	Minimum exterior side setback	4.5 metres
5	Minimum interior side setback	2.5 metres
6	Minimum rear setback	2.5 metres
7	Maximum lot coverage	50 percent
8	<p>Maximum building height:</p> <p>Principal buildings</p> <p>Accessory buildings and structures</p>	<p>10.0 metres</p> <p>6.0 metres</p>
9	<p>Minimum lot area for subdivision:</p> <p>Community Water System and Community Wastewater System</p> <p>Community Water System and On-site Wastewater Disposal</p> <p>Individual Water Source and Community Wastewater System</p> <p>Individual Water Source and On-site Wastewater Disposal</p>	<p>0.1 hectares</p> <p>0.2 hectares</p> <p>0.2 hectares</p> <p>1.0 hectares</p>

RUMBLING CREEK CABINS

LEGAL ADDRESS: LOT 1 DL 1241 KD PLAN EPP121813
ISSUED FOR RZ/DP APPLICATION - April 24, 2023

Project Data

Overview		
civic address	4500 Highway 6, Salmo, BC Canada, V0G 1Z0	
legal description	LOT 1 DL 1241 KD PLAN EPP121813	
P.I.D.	031-873-529	
zoning	C2 - Tourist Commercial	
Site Dimensions		
NW	298.59 ft	91.01 m
NE	360.56 ft	109.90 m
SW	360.59 ft	109.91 m
SE	298.62 ft	91.02 m
site area	2.47 acre (1 hectare)	10,000+ sqm
Proposed Buildings		
	X 8	
	X 1	
Site Coverage	11%	
Building Coverage		
Cabins	8,560 Sq Ft	795.25 Sqm
Assembly Structure (Main Hall)	3,312 Sq Ft	307.69 Sqm
Total	11,872 Sq Ft	1102.94 Sqm

Drawing List

Sheet Number	Sheet Title
A000	Cover Sheet & Drawing List
A100	Context Plan
A101	Site Plan
A102	Site Plan
A200	Plans (Cabins)
A201	Roof Plans (Cabins)
A202	Plans (Main Hall)
A203	Plans (Main Hall)
A204	Roof Plan (Main Hall)
A300	Elevations (Cabins)
A301	Elevations (Cabins)
A302	Elevations (Cabins)
A303	Elevations (Cabins)
A304	Elevations (Main Hall)
A305	Elevations (Main Hall)
A400	Sections (Cabins)
A401	Sections (Cabins)
A402	Sections (Main Hall)

Area Summary

Lot Area	2.47 Acre
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Areas Summary (Cabins)

1 BED CABINS	Allowable Area	Proposed Area	Proposed Area (Metric)
Interior Area	N/A	710 Sq Ft	65.96 Sqm
Front Porch	N/A	60 Sq Ft	5.57 Sqm
Rear Deck	N/A	165 Sq Ft	15.32 Sqm
Total Area (per 1 bed cabin)	N/A	935 Sq Ft	86.86 Sqm
Total Area (all 1 bed cabins)	N/A	3,740 Sq Ft (935 Sq Ft x 4)	347.45 Sqm

1 BED CABINS	Allowable Area	Proposed Area	Proposed Area (Metric)
Interior Area	N/A	980 Sq Ft	91.04 Sqm
Front Porch	N/A	60 Sq Ft	5.57 Sqm
Rear Deck	N/A	165 Sq Ft	15.32 Sqm
Total Area (per 2 bed cabin)	N/A	1,205 Sq Ft	111.95 Sqm
Total Area (all 2 bed cabins)	N/A	4,820 Sq Ft (1,205 Sq Ft x 4)	447.79 Sqm

	Allowable Area	Proposed Area	Proposed Area (Metric)
Total Interior Area (all 8 cabins)	N/A	6,760 Sq Ft	628.02 Sqm
Total Exterior Area (all 8 cabins)	N/A	1,800 Sq Ft	167.22 Sqm
Total Area (all 8 cabins)	N/A	8,560 Sq Ft	795.25 Sqm

BUILDING FOOTPRINTS	Allowable	Proposed	Proposed Area (Metric)
1 Bed Cabin Footprint	N/A	935 Sq Ft	86.86 Sqm
2 Bed Cabin Footprint	N/A	1,205 Sq Ft	111.95 Sqm
Total Footprint (all 8 cabins)	N/A	8,560 Sq Ft	795.25 Sqm

Areas Summary (Main Hall)

MAIN HALL	Allowable Area	Proposed Area	Proposed Area (Metric)
Ground Floor Interior	N/A	2,952 Sq Ft	274.25 Sqm
Second Floor Interior	N/A	1,413 Sq Ft	131.27 Sqm
Total Interior Area	N/A	4,365 Sq Ft	405.52 Sqm

Ground Floor Deck	N/A	360 Sq Ft	33.44 Sqm
Second Floor Balcony	N/A	591 Sq Ft	54.91 Sqm
Second Floor Porch	N/A	216 Sq Ft	20.06 Sqm
Total Exterior Area	N/A	1,167 Sq Ft	108.41 Sqm

Total Area	N/A	5,532 Sq Ft	513.94 Sqm
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BUILDING FOOTPRINT	Allowable	Proposed	Proposed Area (Metric)
Main Hall Footprint	N/A	3,312 Sq Ft	307.69 Sqm

General Notes

These drawings conform to the latest edition of the 2018 British Columbia Building Code.

All dimensions are to the center of wall, face of sheathing or face of concrete unless noted otherwise. Contractor must confirm all critical dimensions and otherwise assure themselves of the adequacy of drawings, report all discrepancies.

Contractor shall confirm actual dimension with supplier/manufacturer and site condition. **DO NOT SCALE DRAWINGS.** Telephone and hydro service are existing when drawings do not show sufficient detail to allow compliance with relevant specifications, the contractor shall prepare details for submission to the appropriate consultant for approval, prior to construction or implementing that detail. BLA Design Group is not responsible for the structural design of this building, in case of any discrepancy between these notes and structural notes provided by an engineer, the engineer's notes will supersede these discrepancies are to be reported. All material and workmanship to meet the requirements of the 2018 issue of the British Columbia Building Code. The following specifications are recommended for minimum requirements refer to the B.C.B.C. All following sizes and dimensions are to be confirmed to comply with municipal standards, these standards supercede the minimum requirements of the B.C.B.C (reference numbers below)

EXCAVATION:
9.12: Foundations shall extend to undisturbed soil. 18" minimum coverage for frost protection.

DRAINAGE:
9.14: Clean drain rock over 4" drain tile. 4" dia. perforated pvc drain pipe. w/ to solid pipe.

CONCRETE:
9.3.1: All unreinforced concrete to be a minimum of 15 mpa @ 28 days.

FOOTINGS AND FOUNDATIONS:
9.15: Strip footings: min. 16"x8". column footing: min. 24"x24"x10 conc. Walls to project 200mm above finished grade or 2" above exterior concrete slabs. Provide 6" anchor bolts @ maximum 4'-0" o.c. 2 on each sill plate. Posts to be anchored to resist uplift.

SLABS:
9.16: Not less than 100mm of coarse clean granular material shall be placed beneath floors on ground. Concrete slabs shall not be less than 75mm thick exclusive of concrete topping. Vehicle parking: 4" concrete slab/w 6x6x10/10 mesh slope 2% over 5' compacted gravel.

PROTECTION FROM DAMPNESS:
9.23.2.2: Wood frame members that are not pressure treated with a wood preservative and that are supported on concrete in contact with the ground or soil shall be separated from the concrete by not less than 0.05mm poly film or type s roll roofing.

ROOFING/WATERPROOFING:
All building paper used in this project must be 2 layers of 30 min. installed 1/2 lapped. All caulking must be polyethylene base not silicone base. Provide continuous vapor barrier on top and end of exterior walls over beams. Provide caulking around all exterior openings. All flashing must be a min. of 26 gauge and shall be joined with standing seams. Install peel and stick membrane under cap flashing. Shingle exterior vent should be a eco - model Q51204 or equivalent. Vent shall be back caulked onto 30 min. flashing paper that is approximately 12" larger than the vent on all sides. The flashing paper shall then be shingled with building paper. Waterproof membrane shall carry up into patio door rough opening with upturn.

FRAMING:
9.23: All material sizes and spans are based on #2 d.fir or k.d. spruce unless noted otherwise. Header: 2-2x10 #2 d.fir (full of one floor and roof) 3-2x10 #2 d.fir (full of two floors and roof) wall studs: 2x4 studs @ 16" o.c. (exterior) 2x4 studs @ 16" o.c. (interior) (unless noted otherwise). Contractor shall obtain manufacturer stamped engineered shop dwg. and certificate of installation for trusses. Provide solid blocking in two spaces on both sides of exterior at latch height and hinge height. Cross bridging of roof floor joists required at 7' o/c. All wood in contact with concrete must be protected with thin 45 deg.

FLOORS:
9.30.1: Water resistant flooring required in entry, laundry, kitchen, mechanical rm. and bathrooms. provide 2/8" ply under.

INSULATION:
9.25.1: R20 insulation and 6 mil. poly v.b. between heated and unheated space, the exterior air or the exterior soil.

ATTICS:
9.19.1: Cross vent roof 1/150th of area or attic space minimum 1/300th of area with a minimum of 25% at the top and 25% at the bottom. install insulation stops as required. Provide min 20"x28" access with light fitting insulated cover.

FIREPLACE:
9.22: Provide minimum 4" combustion air duct from exterior. For wood burning fireplace provide minimum 16" non-combustible hearth and co2 detector. All manufactured fireplace and flues to conform to can/cic s610 standard. Install to manufacturer's specifications and u.l.c. listing requirement. Install 1/2" wonderboard under non combustible hearth finish.

PLUMBING:
Plumbing to meet requirements of the 2018 B.C.B.C. including 7.5.5.5: every story in which plumbing is or may be installed, including the basement of a single family dwelling, shall have extended into it or passing through it a vent pipe that is at least 1 1/2" in size for the provision of future connections, all building drawings to be provided with at least one vent not less than 3" in size and shall terminate through the roof.

DRYWALL:
Waterproof wall board required around tub and showers.

VENTILATION:
9.32: Where natural ventilation of rooms does not meet the requirements of table 9.32.2 mechanical ventilation is required: not mechanically cooled: provide 1 air change per hour. Mechanically cooled: provide 1/2 air change per hour.

HEATING:
9.23: Heating system to meet requirements of 2018 B.C.B.C.

DOORS:
9.6.5: Safety or wired glass is required where glass can be mistaken for a door opening and within 36" of door locks or 8" of floor. Doors between garage and dwelling to be self closing and weather stripped. Entrance and exterior doors to dwelling units to comply with B.C.B.C. 9.6.4.4 & 9.6.6. doors to bathrooms and all ensuite doors to undercut 1/2" for suite ventilation.

SECURITY:
9.6.8: All exterior doors to meet the requirements of 9.6.8

WINDOWS:
9.7: Bedroom windows to have a min. unobstructed opening of not less than 0.35m2 and no dimension less than 0.38m. opening must be maintained during an emergency without the need for additional support. window frames are to be thermally broken. All window dimensions are nominal, site measure as required. All frames to have nailing flange and to be placed directly on window sill. Window located within 3'0" of door locks required to have safety or wired glass conforming to 3.31.18(2). windows to conform to section 3.7.2 and subsection 9.7 national building code and to be manufactured in accordance with a3 b3 c3 to csa csa440-m/8 performance test. provide mock up window assembly for testing. Mirrored doors and balolds to conform to B.C.B.C. 9.6.6.3. All glazing 8" or lower e.i.f. to be safety glass. Glazing at entrance doors, shower doors, tubs and sliding doors to conform to 9.6.6 windows over stairs and landings to conform to 9.7.5.3. Windows that extend to less than 900mm above the landing shall be protected with guards (9.8.8) or non-openable and designed to withstand the specified lateral loads for balcony guards (4.1.5.15.)

GLASS:
9.6.6: Safety glass must be used when enclosing bathtubs or showers. All doors and windows to be double glazed.

FLASHING:
9.27.3: Flash all ext. wall openings where the vertical distance from the bottom of the eave to the top of the trim is more than 1/4 of the eave overhang.

STAIRS:
9.8: see section for stair specifications.

GUARDRAIL:
9.27.8: guardrails required where floor to floor or floor (deck, landing etc.) to grade exceeds 24". no opening greater than 4". no members located between 4"-36" above floor or deck etc. that will facilitate climbing.

INTERIOR GUARDRAILS:
min. 36" exterior guardrails: min. 42" except where deck to grade is less than 6'-0". then exterior guardrails: 36" handrails for stairs: 32" above nosing guardrails for stairs: 36" above nosing. guardrails to be designed for 1.5 kn/m horizontal and vertical load at top of rail plus i.o. lp panel loads, no opening more than 4"

SMOKE ALARMS:
9.10.19: smoke alarms to conform to can/ulc-s531. at least on smoke alarm on each floor, including basements. smoke alarm to within 5m of all bedroom doors and 15m of any point the same floor, measured following corridors. smoke alarms to be installed by permanent connection to an electrical circuit. all smoke alarms to be interconnected.

CO ALARMS:
9.32.4.2 carbon monoxide alarms to conform to csa 6.19. carbon monoxide alarms to be installed by permanent connection to an electrical circuit. c carbon monoxide alarm to be installed within 5m of all bedroom doors, measured following corridors.

MISCELLANEOUS:
Provide mirrors behind all bathroom sinks.



Project Team

DESIGNER
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101-8889 Laurel St,
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SURVEYOR
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Geopacific Consultants
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Notes: Drawings are to be read in conjunction with each other. Any discrepancies on the drawings are to be reported to the designer before initiating work, purchase of products and/or manufacturing for construction or installation.

This is a conceptual design package, and it is subject to change during the building permit and construction stages of this project.

Issues
230424 Issued for RZ/DP

Revisions

Rumbling Creek Cabins

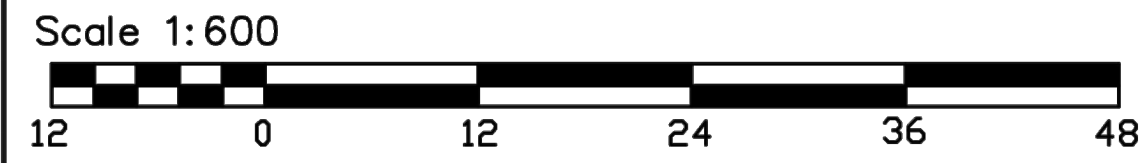
Project Address
Nelson, BC

Drawing Scale

Drawing Title
Title Sheet

A000

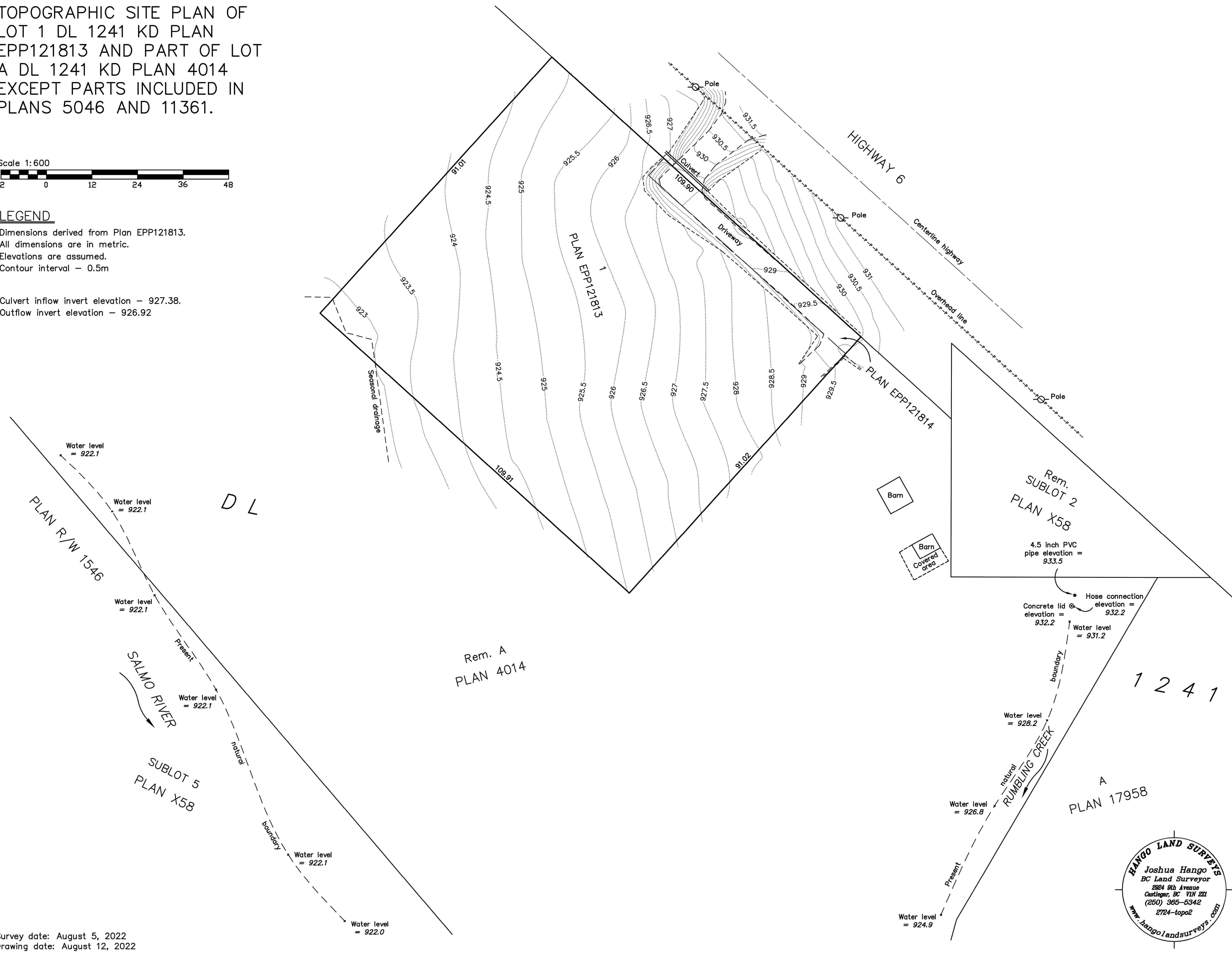
TOPOGRAPHIC SITE PLAN OF
LOT 1 DL 1241 KD PLAN
EPP121813 AND PART OF LOT
A DL 1241 KD PLAN 4014
EXCEPT PARTS INCLUDED IN
PLANS 5046 AND 11361.



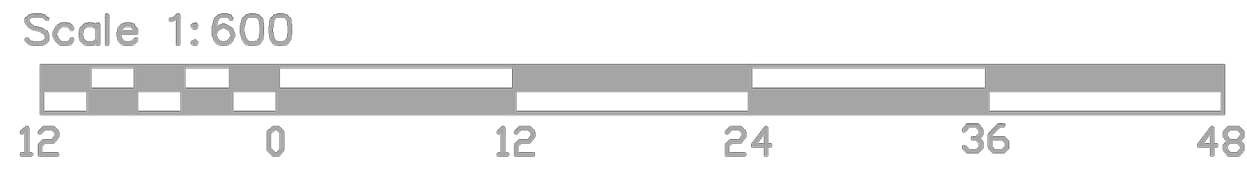
LEGEND

Dimensions derived from Plan EPP121813.
All dimensions are in metric.
Elevations are assumed.
Contour interval - 0.5m

Culvert inflow invert elevation - 927.38.
Outflow invert elevation - 926.92



TOPOGRAPHIC SITE PLAN OF
 LOT 1 DL 1241 KD PLAN
 EPP121813 AND PART OF LOT
 A DL 1241 KD PLAN 4014
 EXCEPT PARTS INCLUDED IN
 PLANS 5046 AND 11361.



LEGEND

Dimensions derived from Plan EPP121813.
 All dimensions are in metric.
 Elevations are assumed.
 Contour interval - 0.5m

Culvert inflow invert elevation - 927.38.
 Outflow invert elevation - 926.92



BLA Design Group
 101-8889 Laurel Street
 Vancouver, BC, V6P3V9
 t: 778-318-9958

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Issues
 230424 Issued for RZ/DP

Revisions

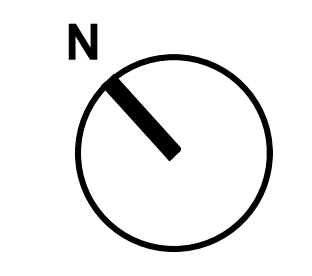
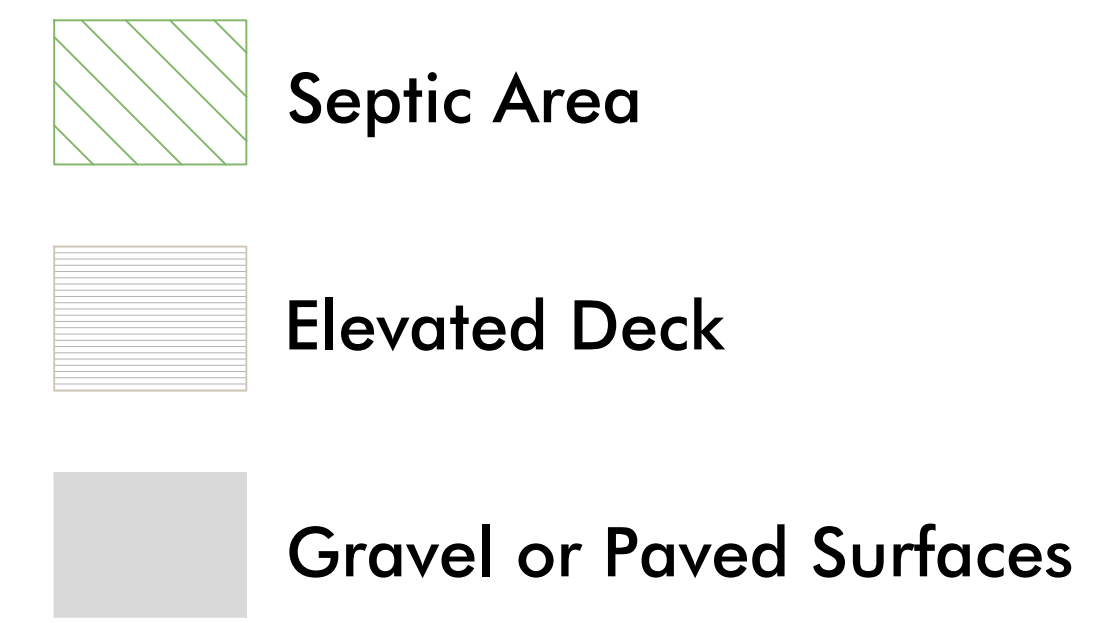
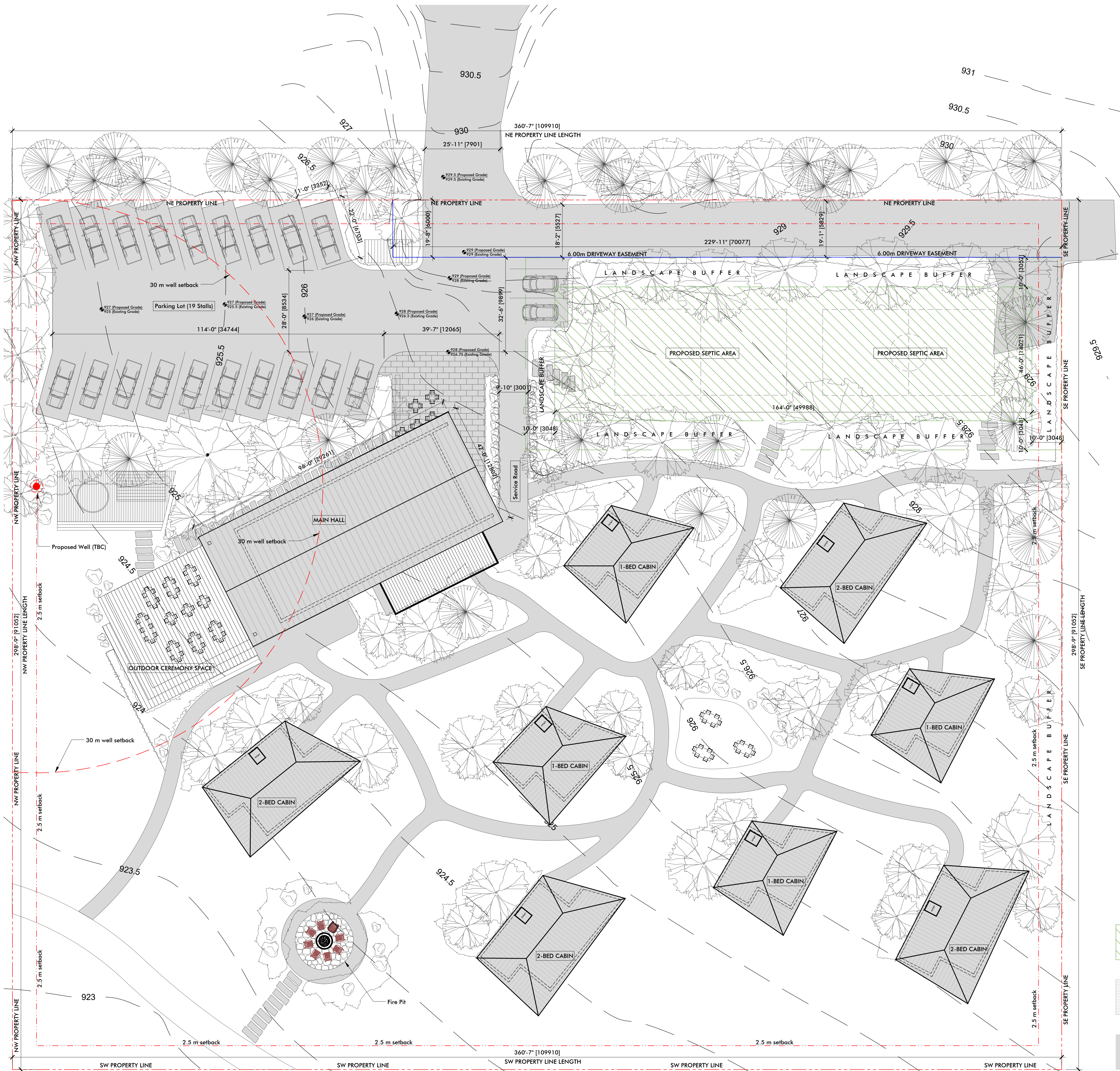
Rumbling Creek Cabins

Project Address
 Nelson, BC

Drawing Scale
 1/32" = 1'-0"

Drawing Title
 Context Plan

A101

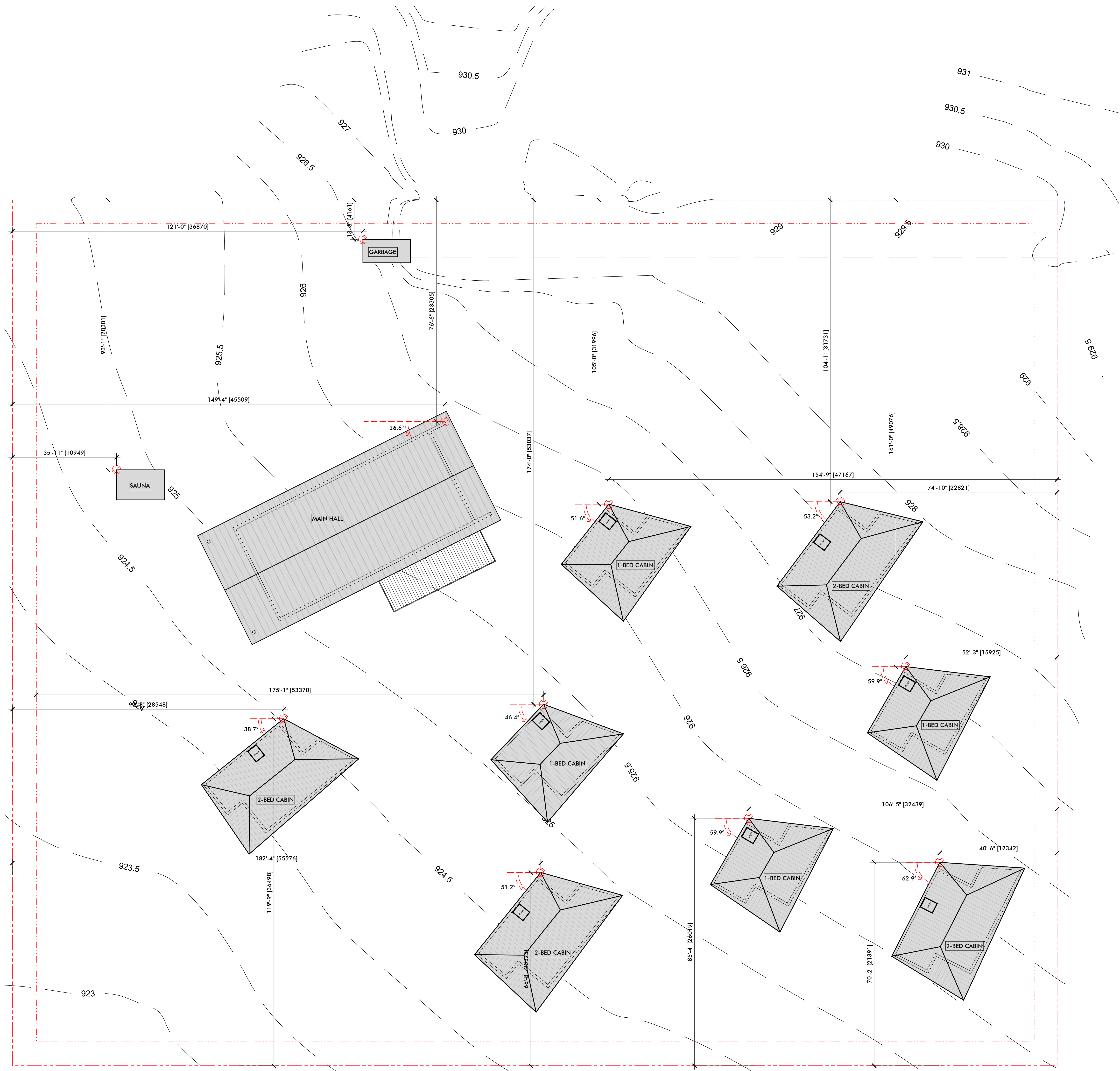


Rumbling Creek Cabins

Project Address
Nelson, BC

Drawing Scale
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Drawing Title
Site Plan

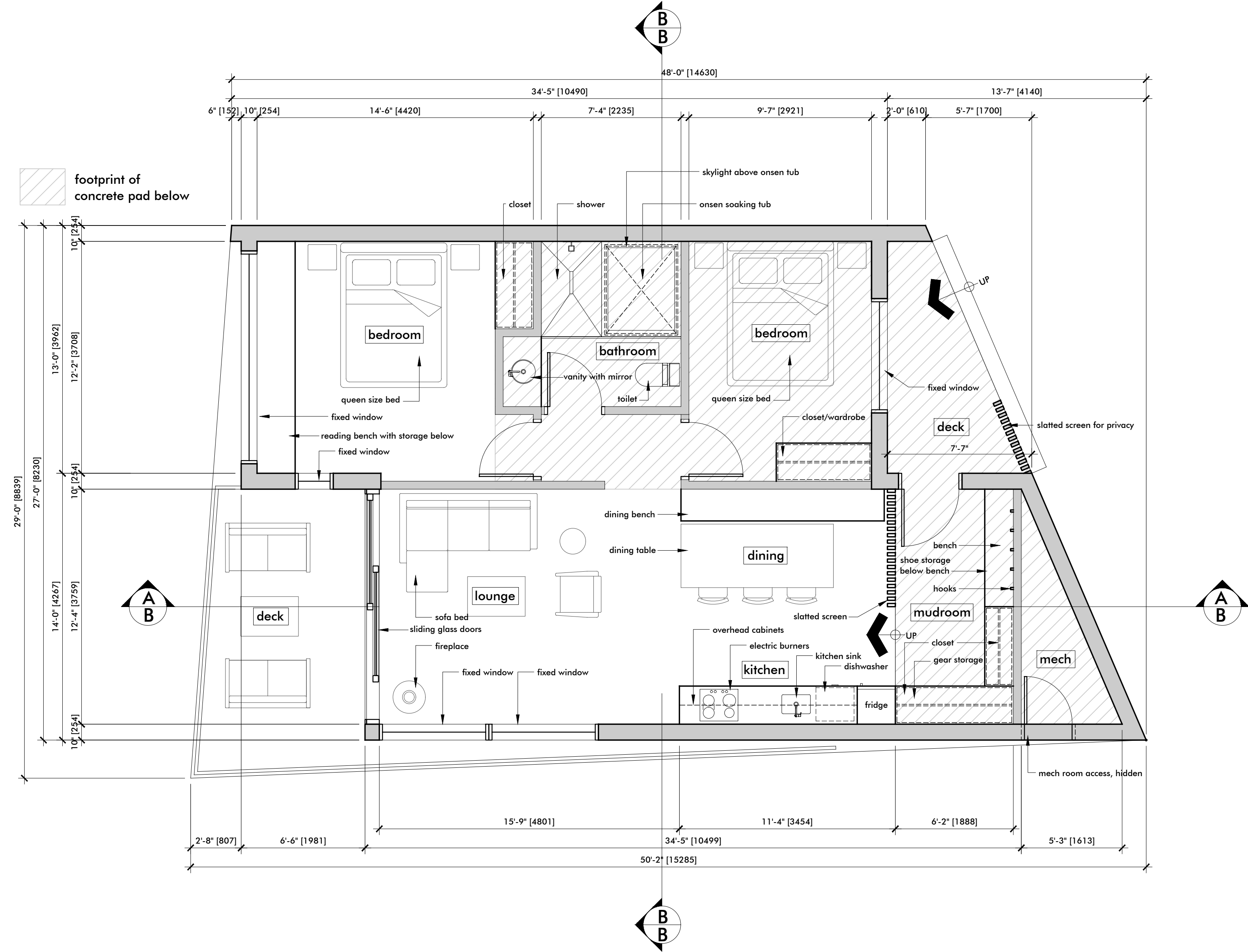
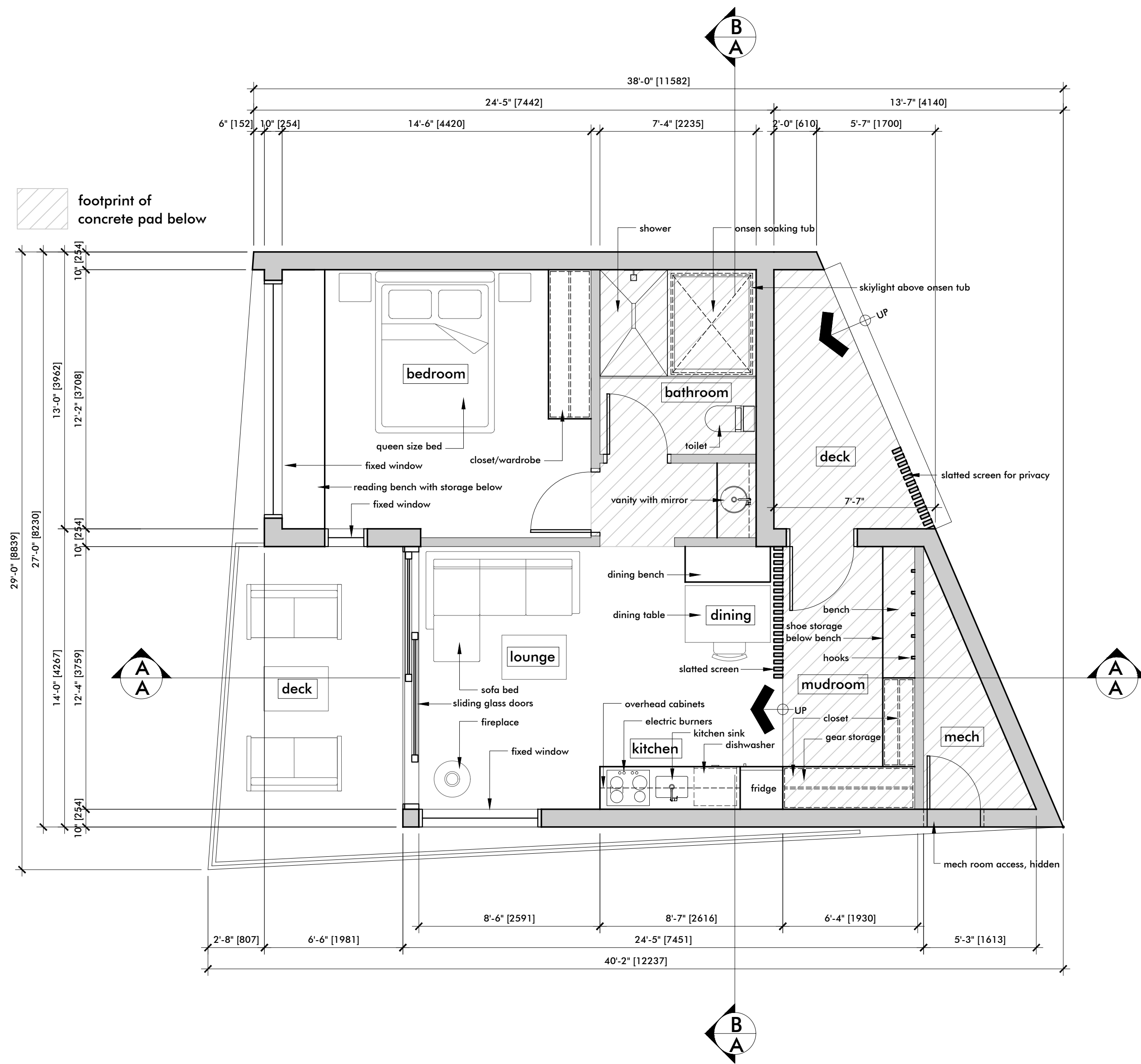


Rumbling Creek Cabins

Project Address
Nelson, BC

Drawing Scale
1/16" = 1'-0"

Drawing Title
Site Plan
Building Locations



1 1 Bed Cabin Floor Plan
A200 Scale: 1/4" = 1'-0"

2 2 Bed Cabin Floor Plan
A200 Scale: 1/4" = 1'-0"

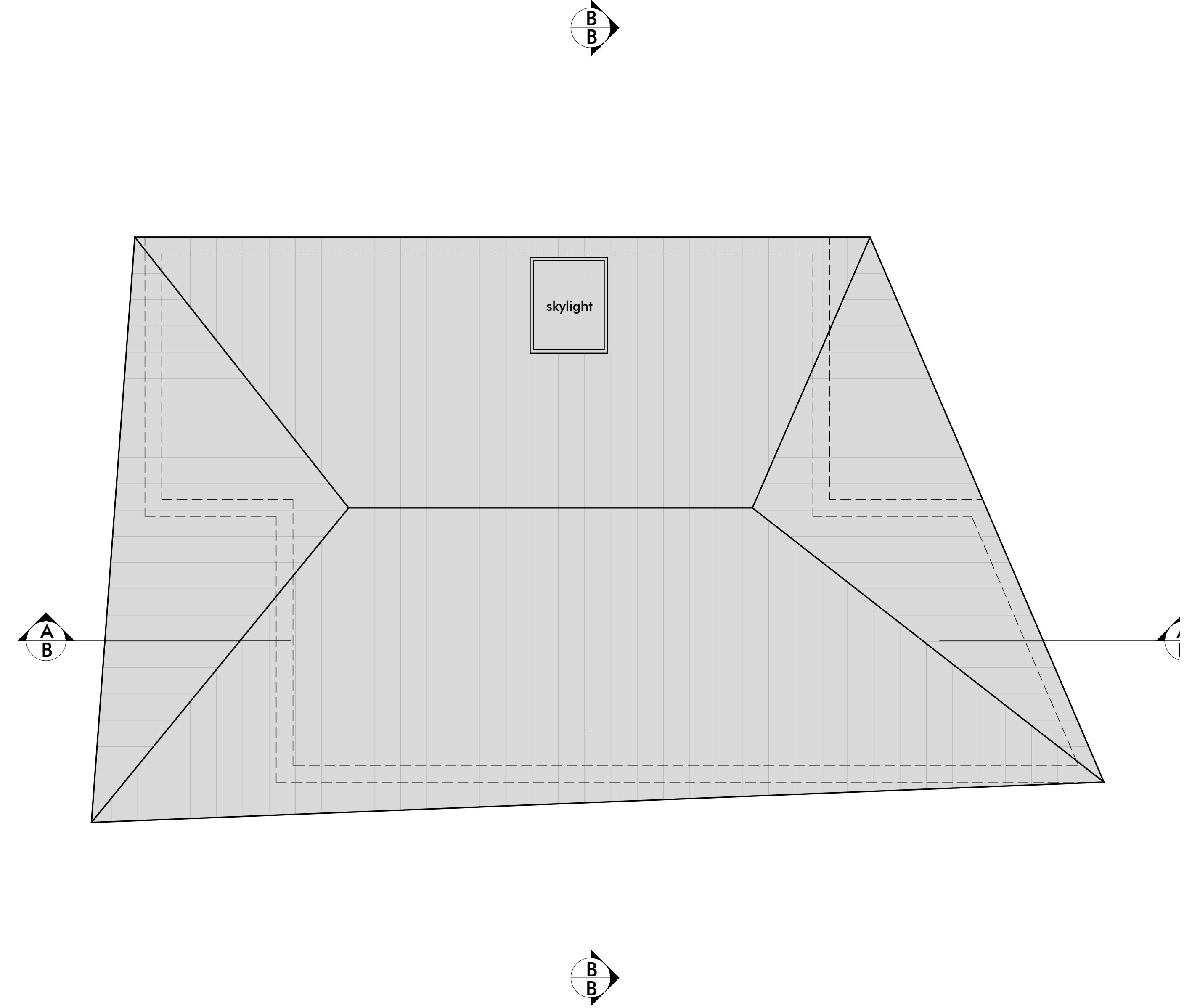
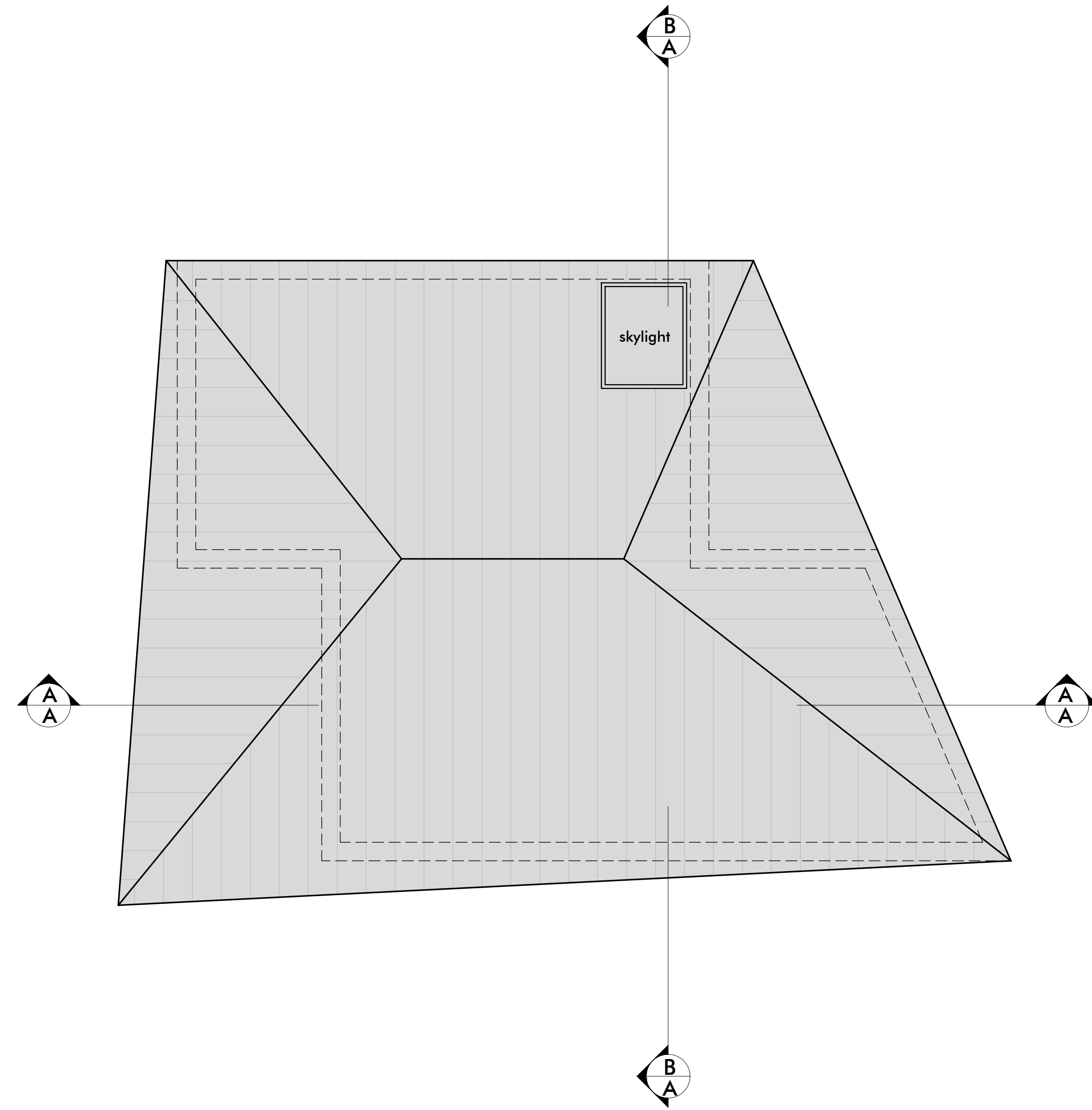
Rumbling Creek Cabins

Project Address
Nelson, BC

Drawing Scale
1/4" = 1'-0"

Drawing Title
Floor Plans
(Cabins)

A200



1 1 Bed Cabin Roof Plan
A201 Scale: 1/4"=1'-0"

2 2 Bed Cabin Roof Plan
A201 Scale: 1/4"=1'-0"

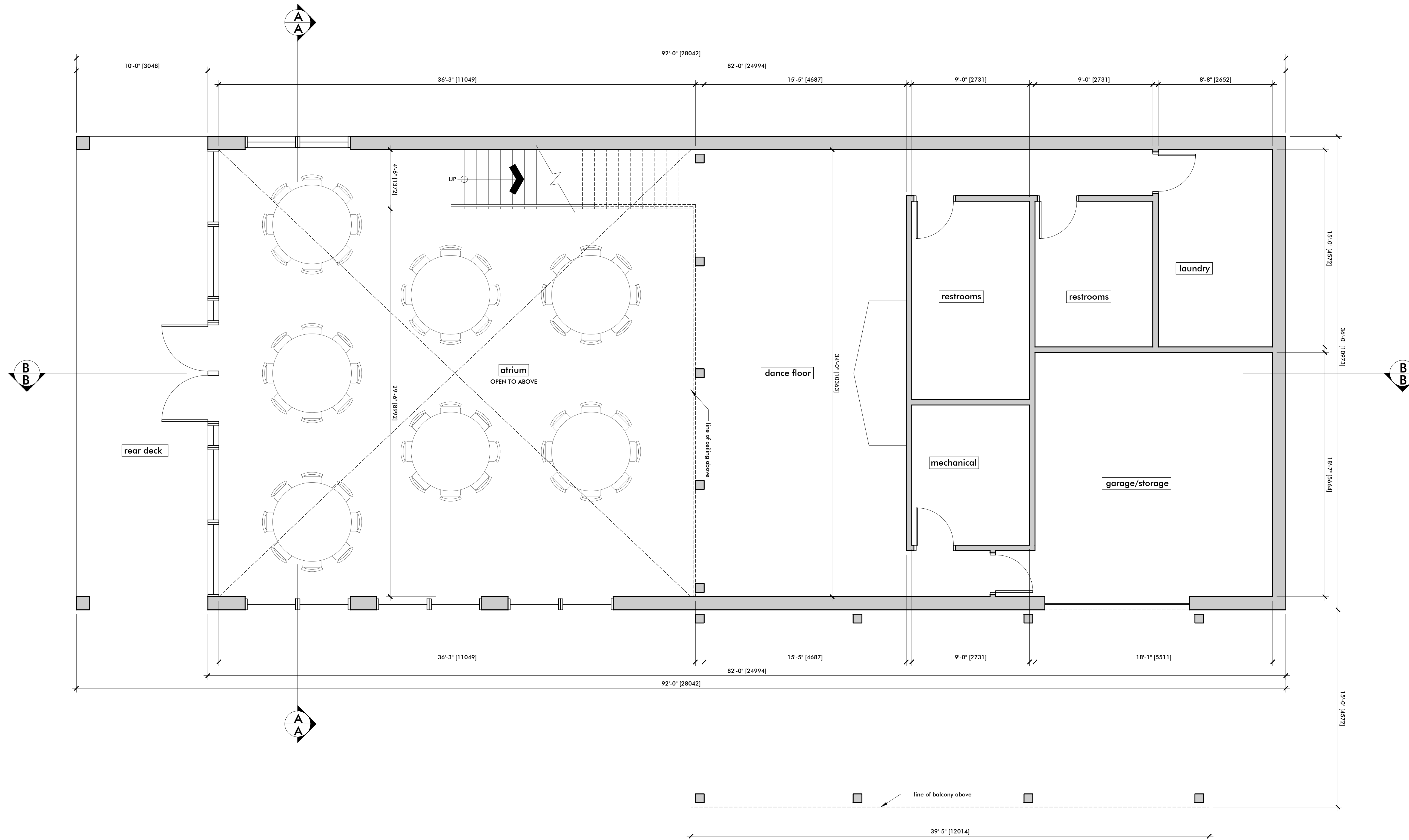
Rumbling Creek Cabins

Project Address
Nelson, BC

Drawing Scale
1/4"=1'-0"

Drawing Title
Roof Plans
(Cabins)

A201



1 Main Hall Floor Plan (Ground Level)
A202 Scale: 1/4" = 1'-0"

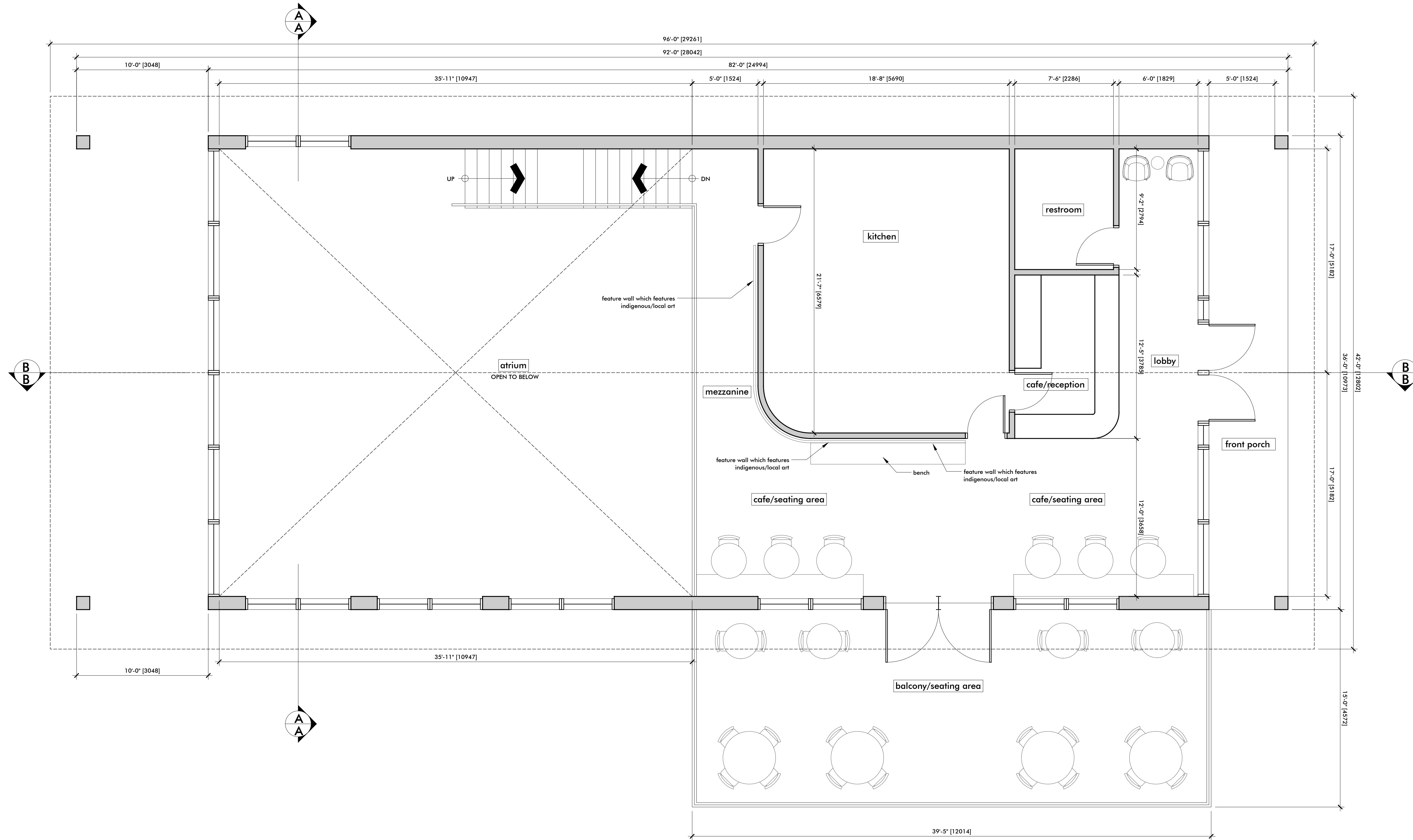
Rumbling Creek Cabins

Project Address
Nelson, BC

Drawing Scale
1/4" = 1'-0"

Drawing Title
Ground Level Plan
(Main Hall)

A202



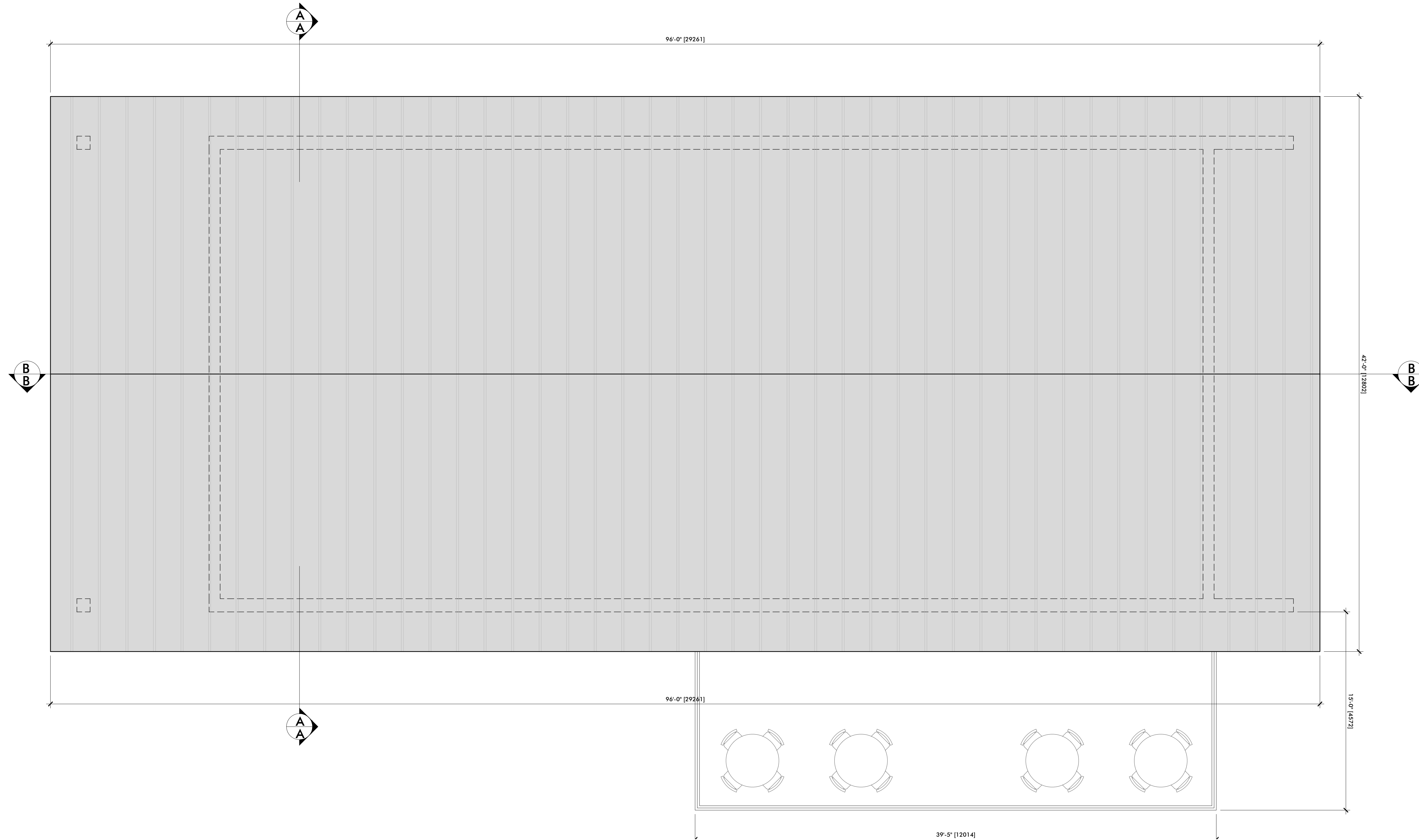
Rumbling Creek Cabins

Project Address
Nelson, BC

Drawing Scale
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Drawing Title
Second Level Plan
(Main Hall)

A203



1 Main Hall Roof Plan
A204 Scale: 1/4"=1'-0"

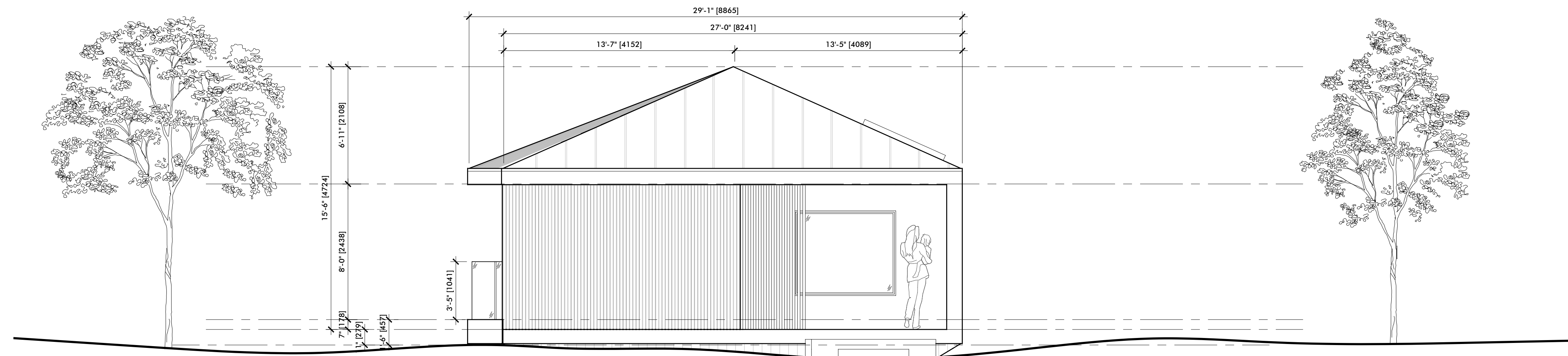
Rumbling Creek Cabins

Project Address
Nelson, BC

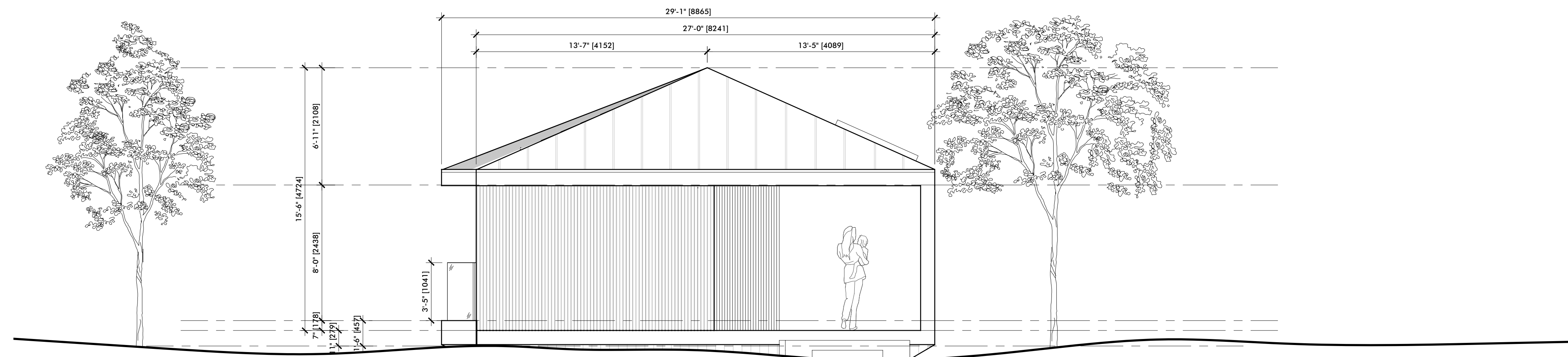
Drawing Scale
1/4"=1'-0"

Drawing Title
Roof Plan
(Main Hall)

A204



2 Elevation - Front (2 Bed Cabin)
A300 Scale: 1/4"=1'-0"



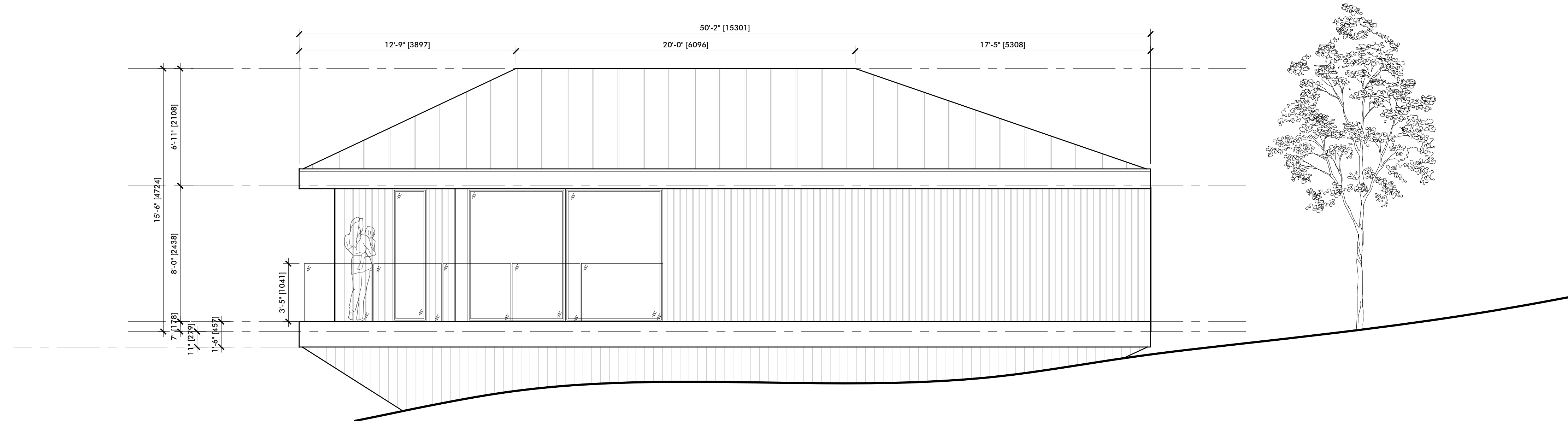
1 Elevation - Front (1 Bed Cabin)
A300 Scale: 1/4"=1'-0"

Rumbling Creek Cabins

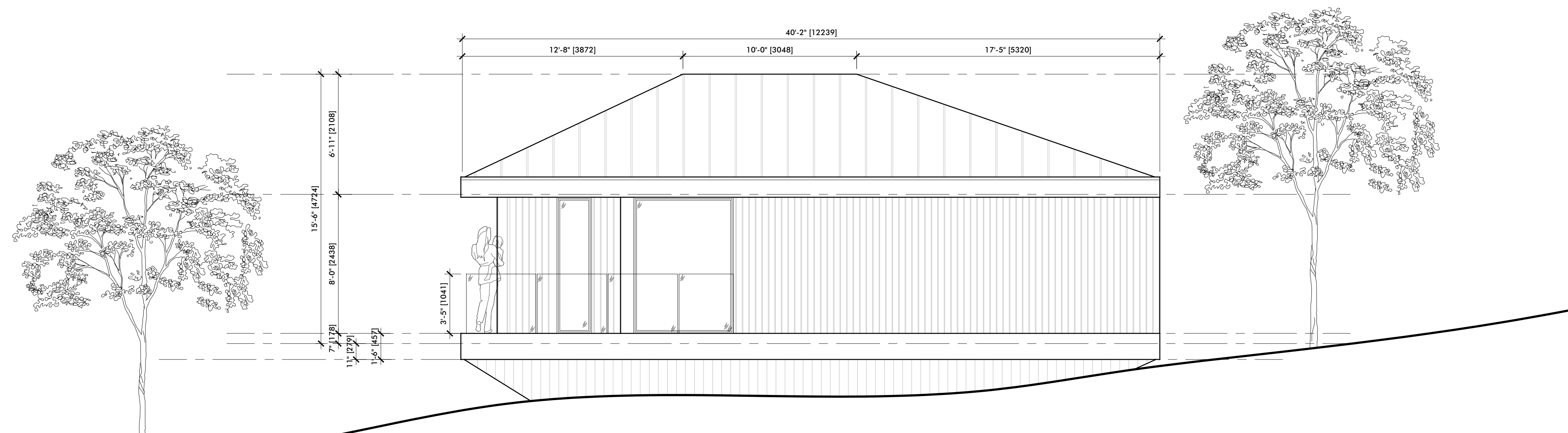
Project Address
Nelson, BC

Drawing Scale
1/4"=1'-0"

Drawing Title
Elevations



2 Elevation - Left (2 Bed Cabin)
A301 Scale: 1/4"=1'-0"



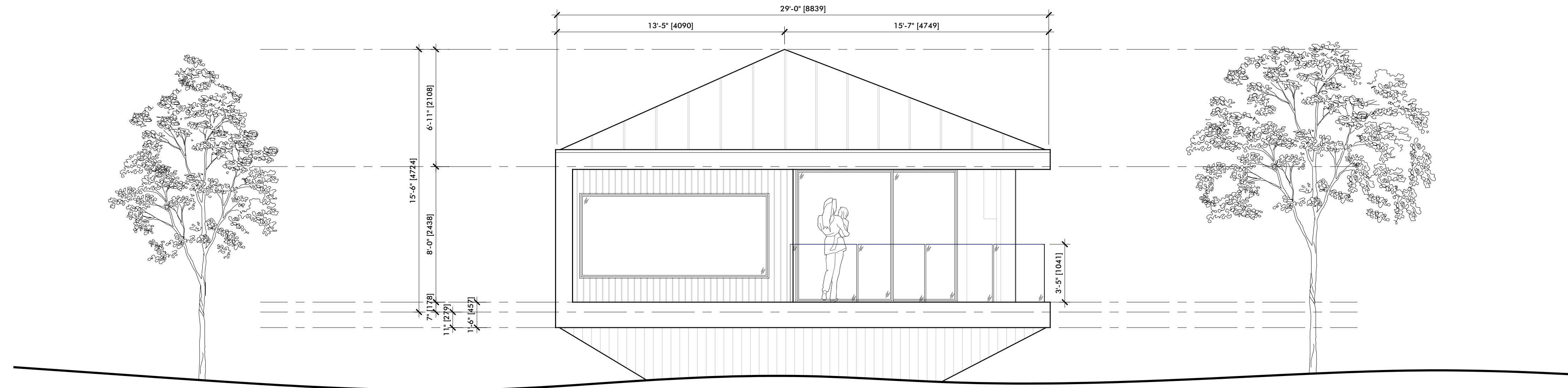
1 Elevation - Left (1 Bed Cabin)
A301 Scale: 1/4"=1'-0"

Rumbling Creek Cabins

Project Address
Nelson, BC

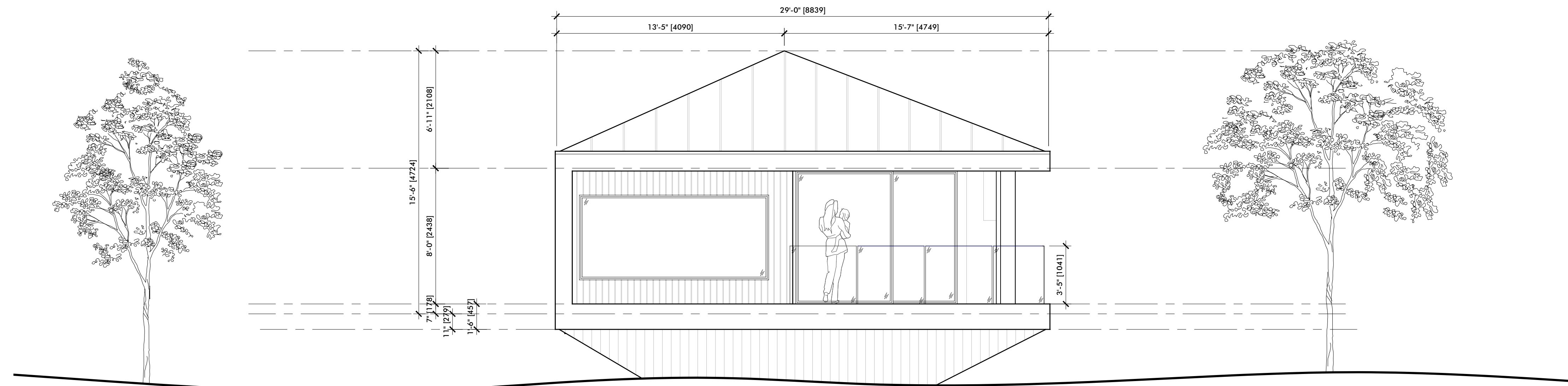
Drawing Scale
1/4"=1'-0"

Drawing Title
Elevations



2 Elevation - Rear (2 Bed Cabin)

A302 Scale: 1/4"=1'-0"



1 Elevation - Rear (1 Bed Cabin)

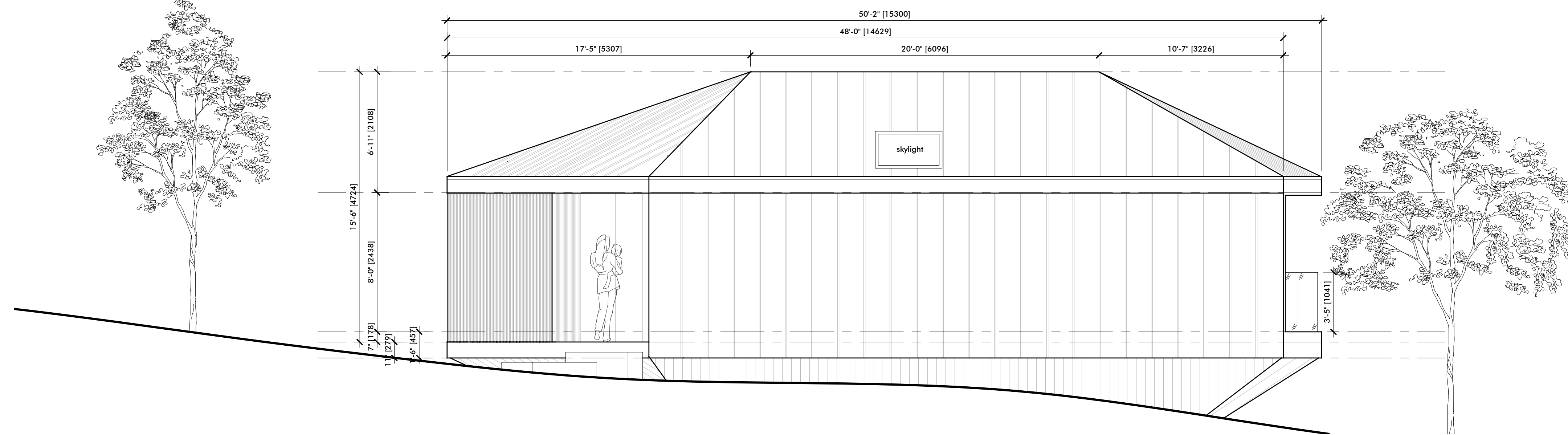
A302 Scale: 1/4"=1'-0"

Rumbling Creek Cabins

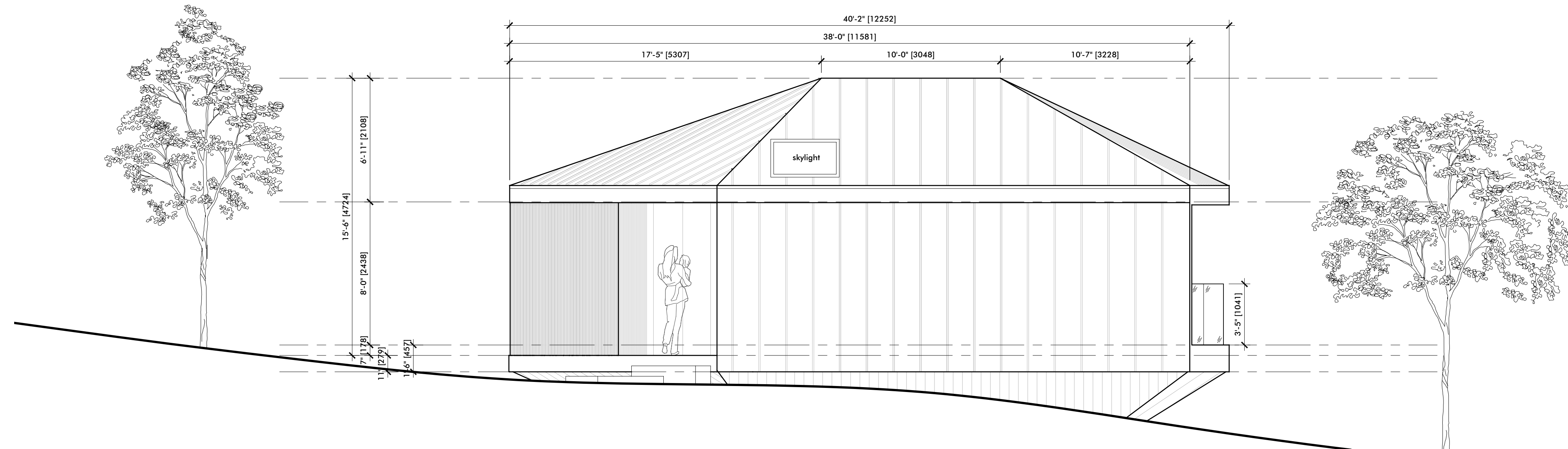
Project Address
Nelson, BC

Drawing Scale
1/4"=1'-0"

Drawing Title
Elevations



2 Elevation - Right (2 Bed Cabin)
A303 Scale: 1/4"=1'-0"



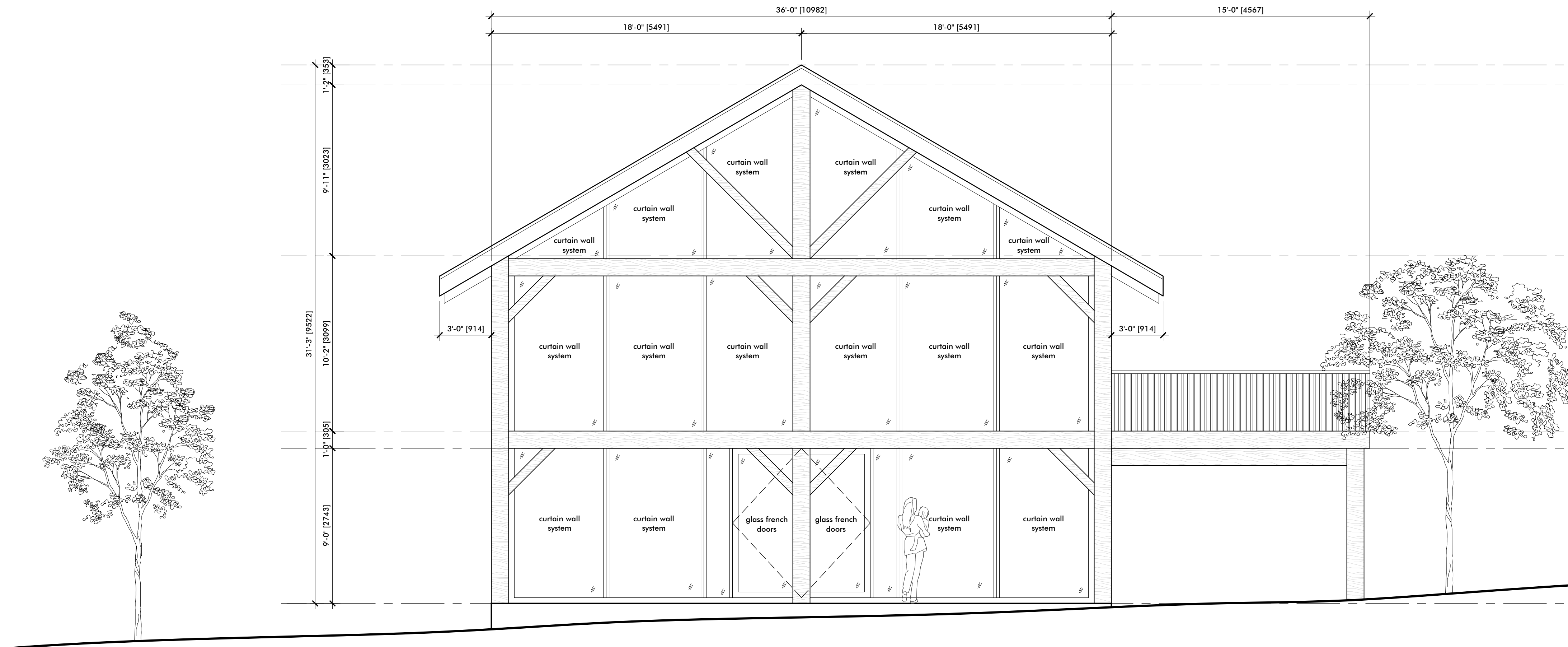
1 Elevation - Right (1 Bed Cabin)
A303 Scale: 1/4"=1'-0"

Rumbling Creek Cabins

Project Address
Nelson, BC

Drawing Scale
1/4"=1'-0"

Drawing Title
Elevations



2 Elevation - Rear (Main Hall)

A304 Scale: 1/4"=1'-0"



1 Elevation - Right (Main Hall)

A304 Scale: 1/4"=1'-0"

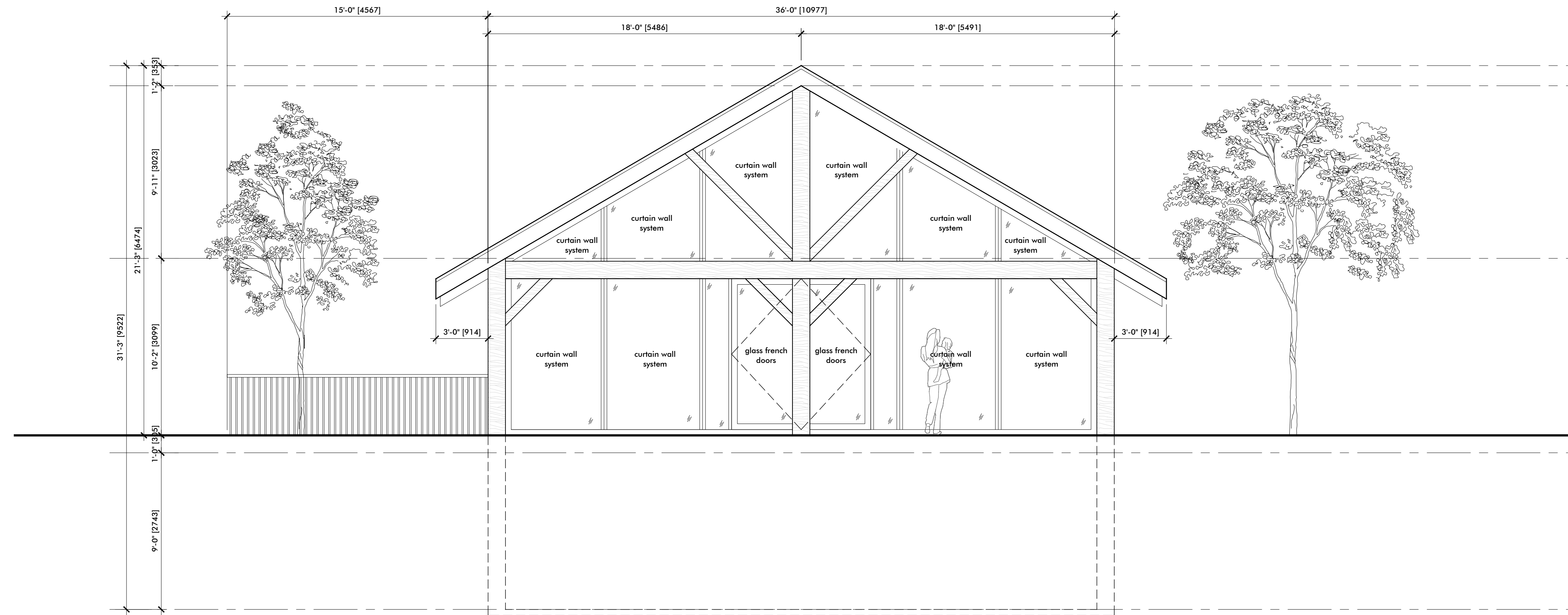
Rumbling Creek Cabins

Project Address
Nelson, BC

Drawing Scale
1/4"=1'-0"

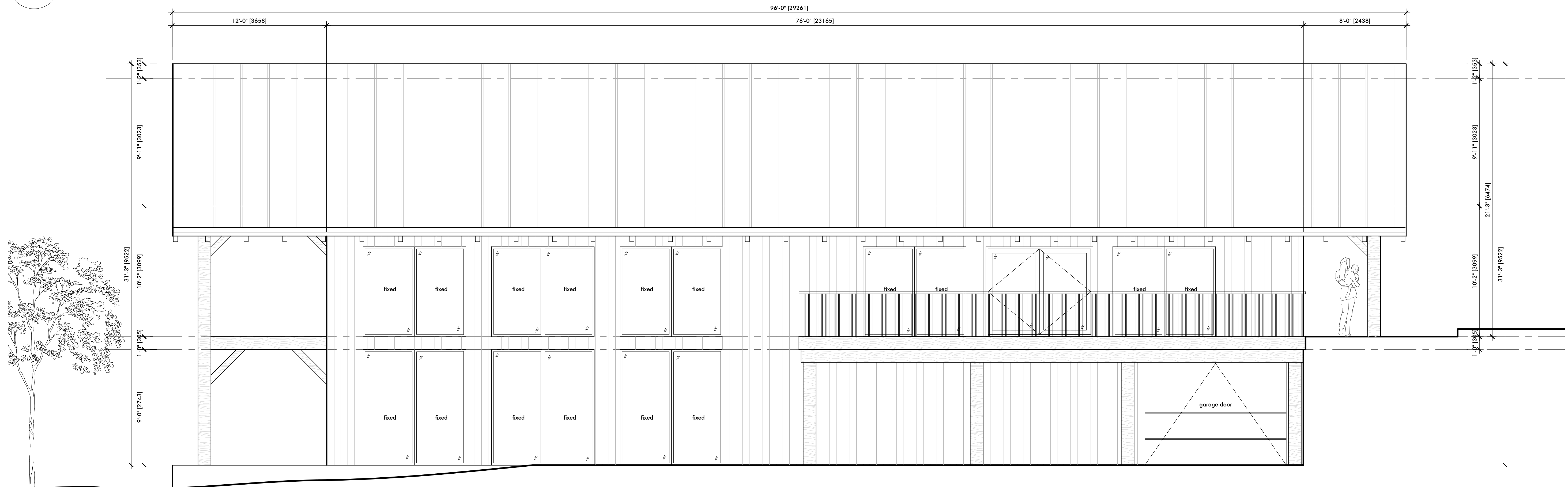
Drawing Title
Main Hall Elevations

A304



2 Elevation - Front (Main Hall)

A305 Scale: 1/4"=1'-0"



1 Elevation - Left (Main Hall)

A305 Scale: 1/4"=1'-0"

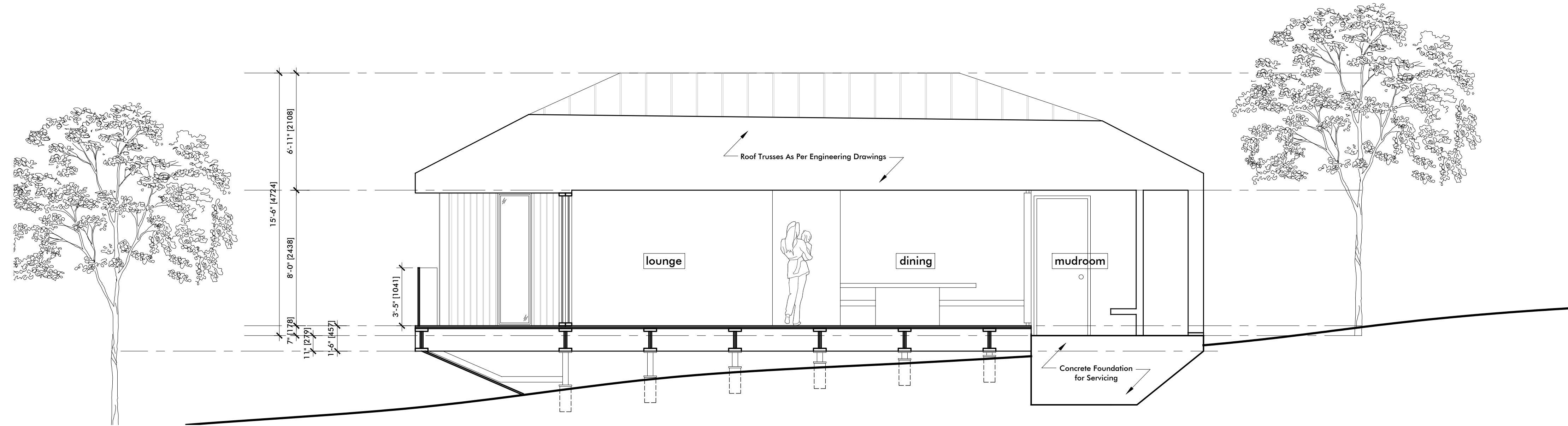
Rumbling Creek Cabins

Project Address
Nelson, BC

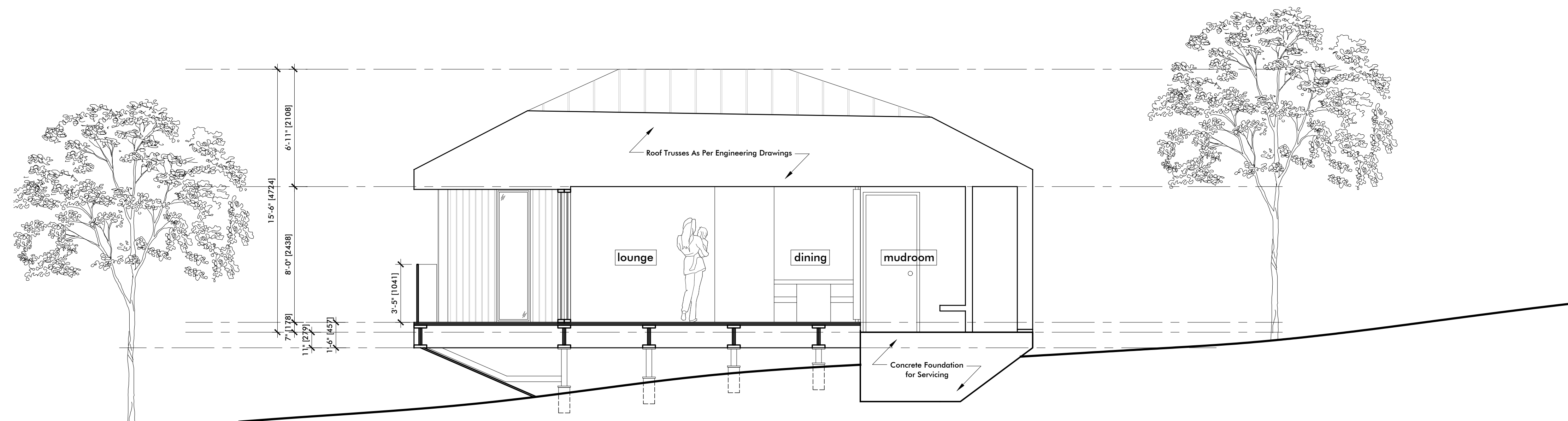
Drawing Scale
1/4"=1'-0"

Drawing Title
Main Hall Elevations

A305



2 Section BA (2 Bed Cabin)
A400 Scale: 1/4"=1'-0"



1 Section AA (1 Bed Cabin)
A400 Scale: 1/4"=1'-0"

Rumbling Creek Cabins

Project Address

Nelson, BC

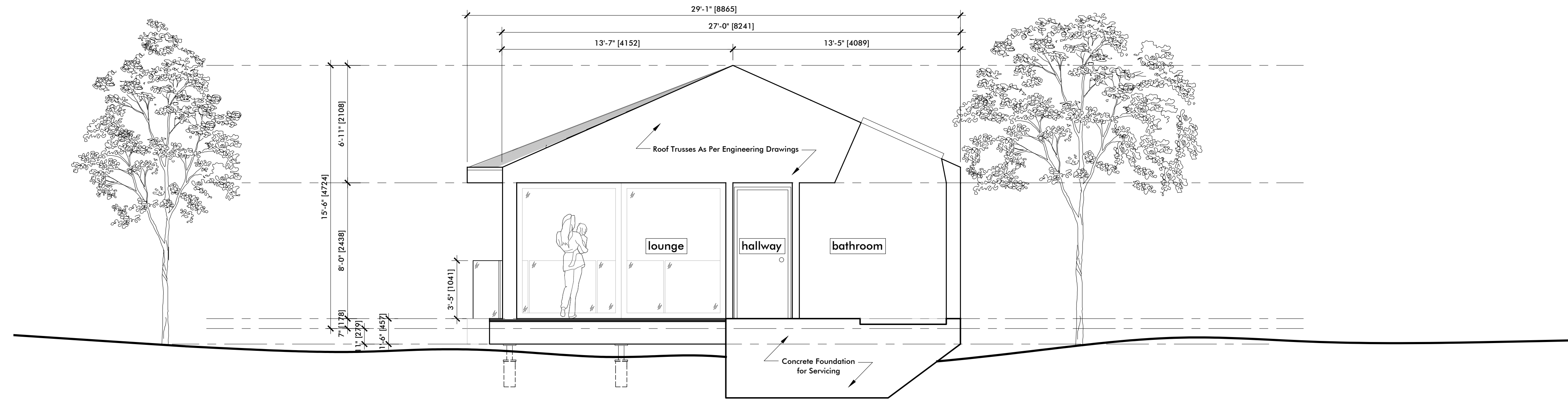
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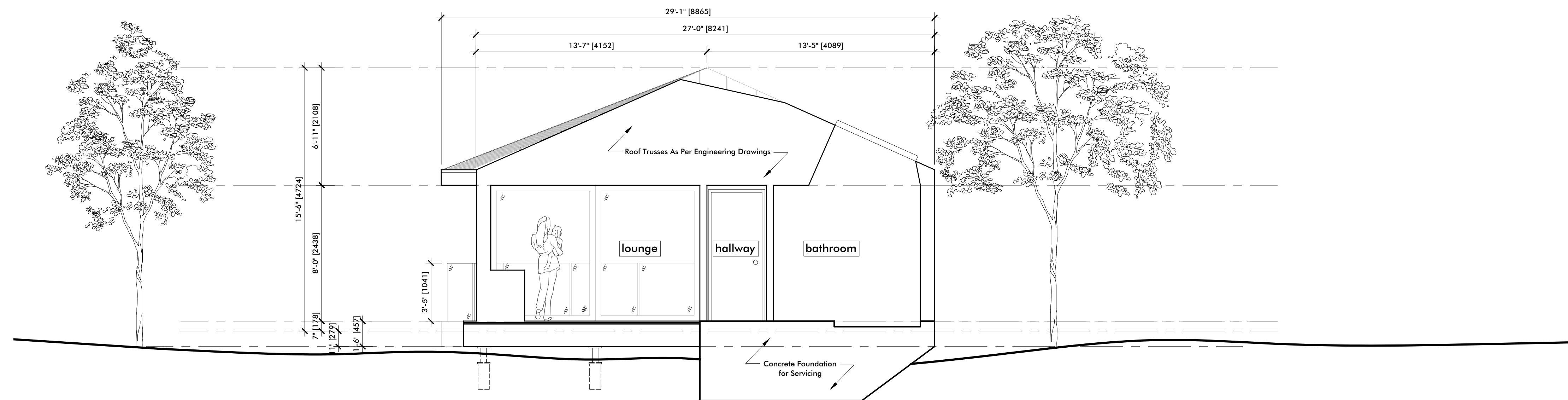
Drawing Title

Sections
(Cabins)

A400



2 Section BB (2 Bed Cabin)
A401 Scale: 1/4"=1'-0"



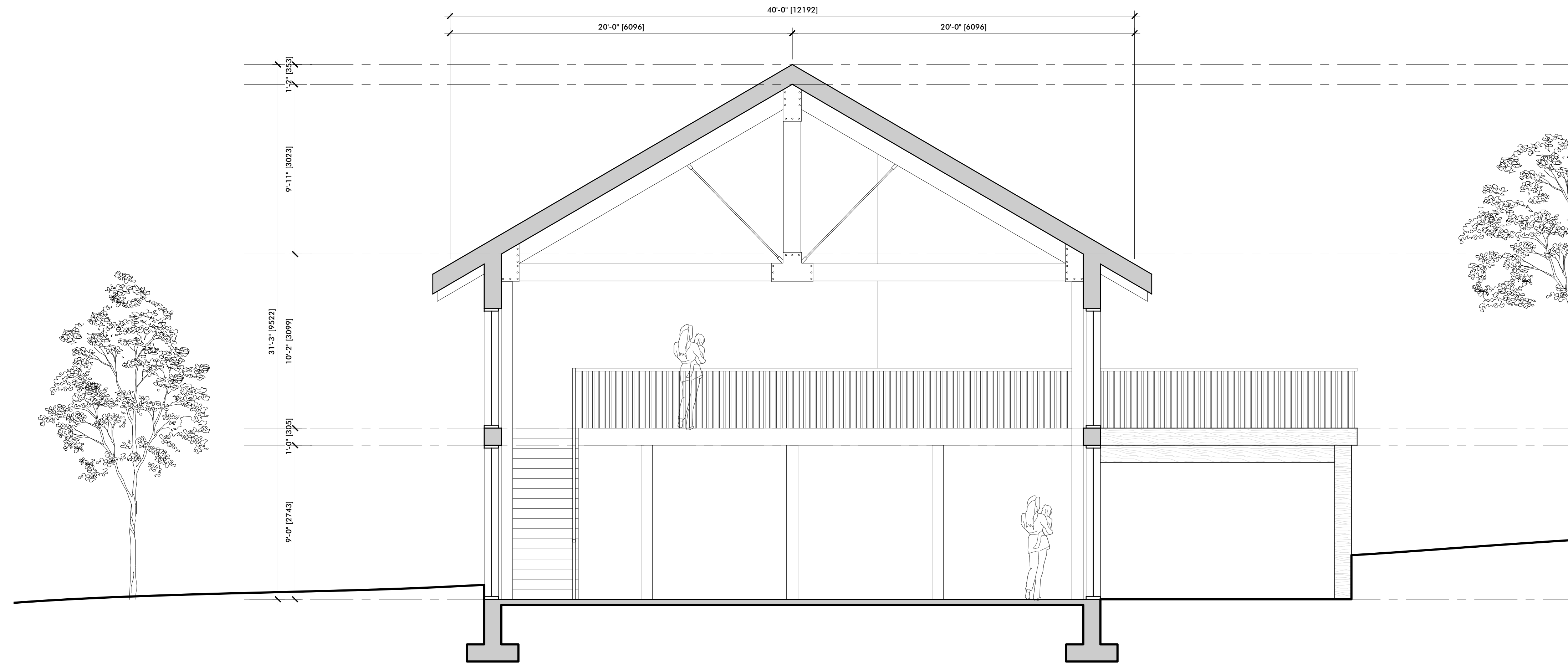
1 Section BA (1 Bed Cabin)
A401 Scale: 1/4"=1'-0"

Rumbling Creek Cabins

Project Address
Nelson, BC

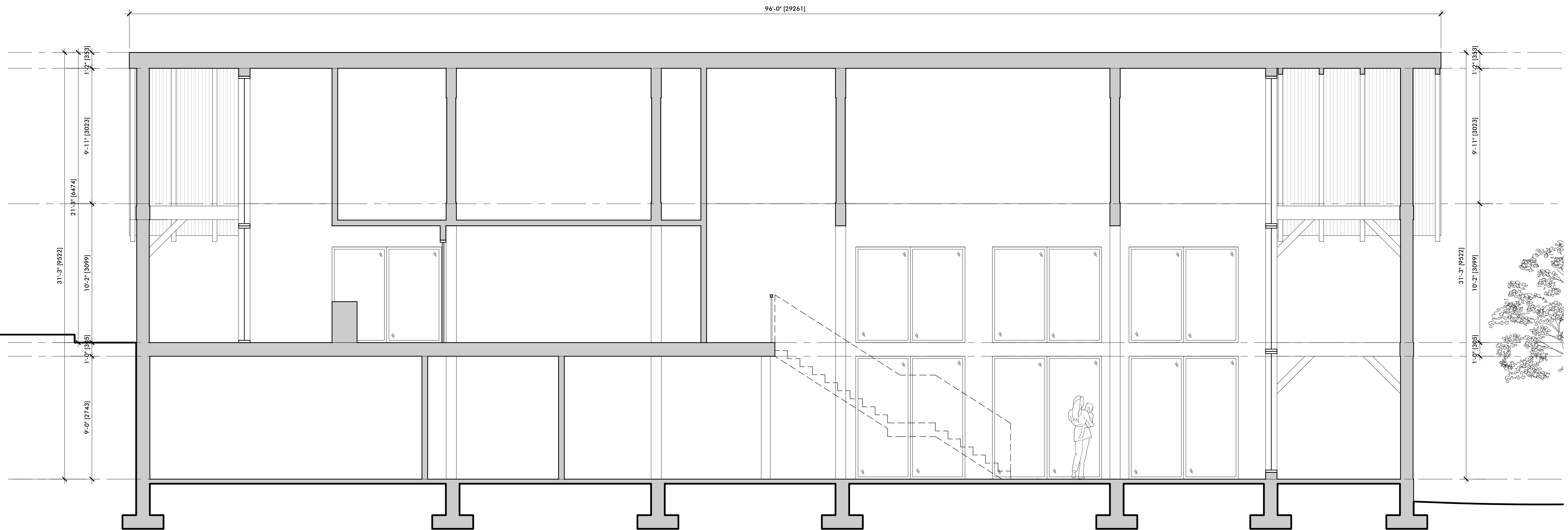
Drawing Scale
1/4"=1'-0"

Drawing Title
Sections
(Cabins)



2 Section - AA (Main Hall)

A402 Scale: 1/4"=1'-0"



1 Section - BB (Main Hall)

A402 Scale: 1/4"=1'-0"

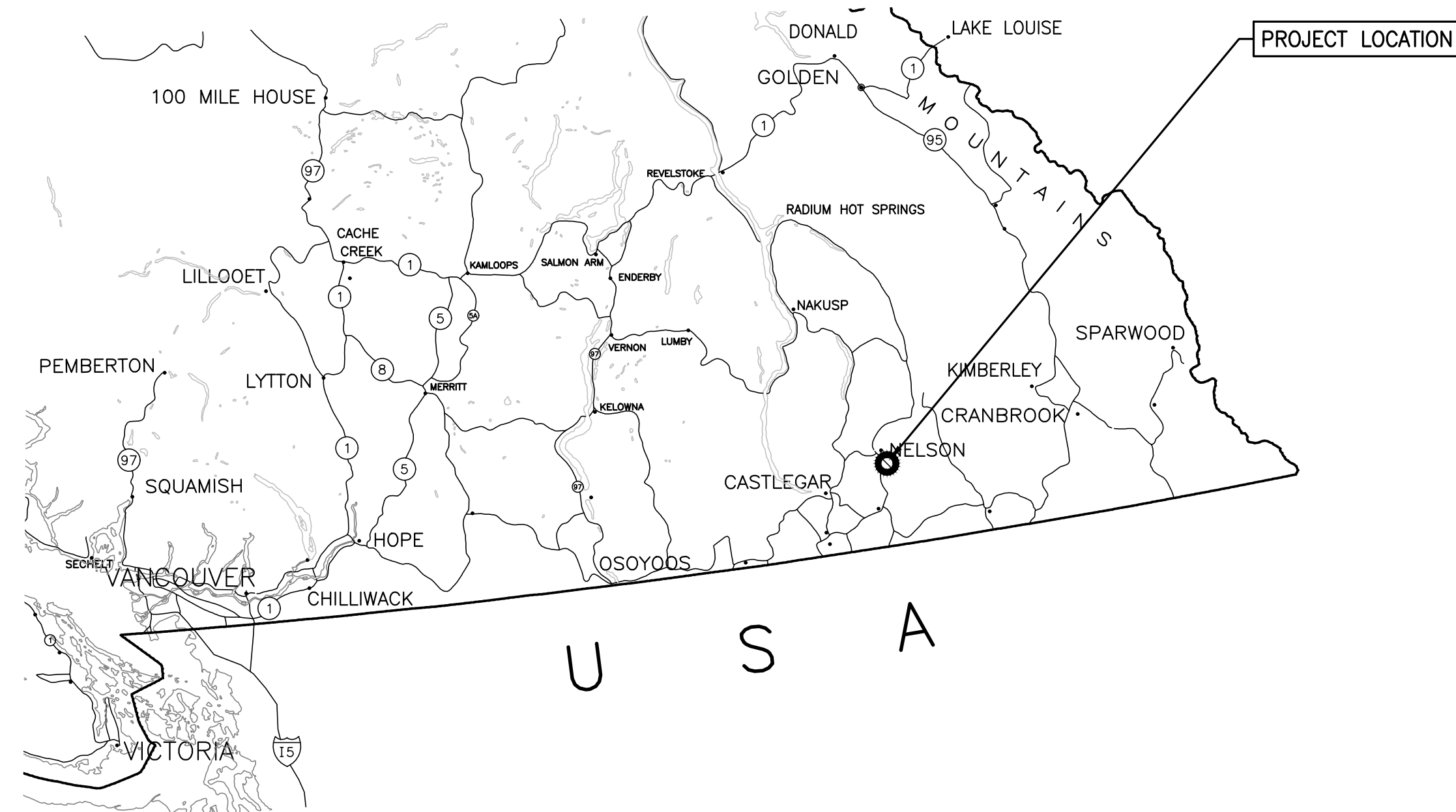
Rumbling Creek Cabins

Project Address
Nelson, BC

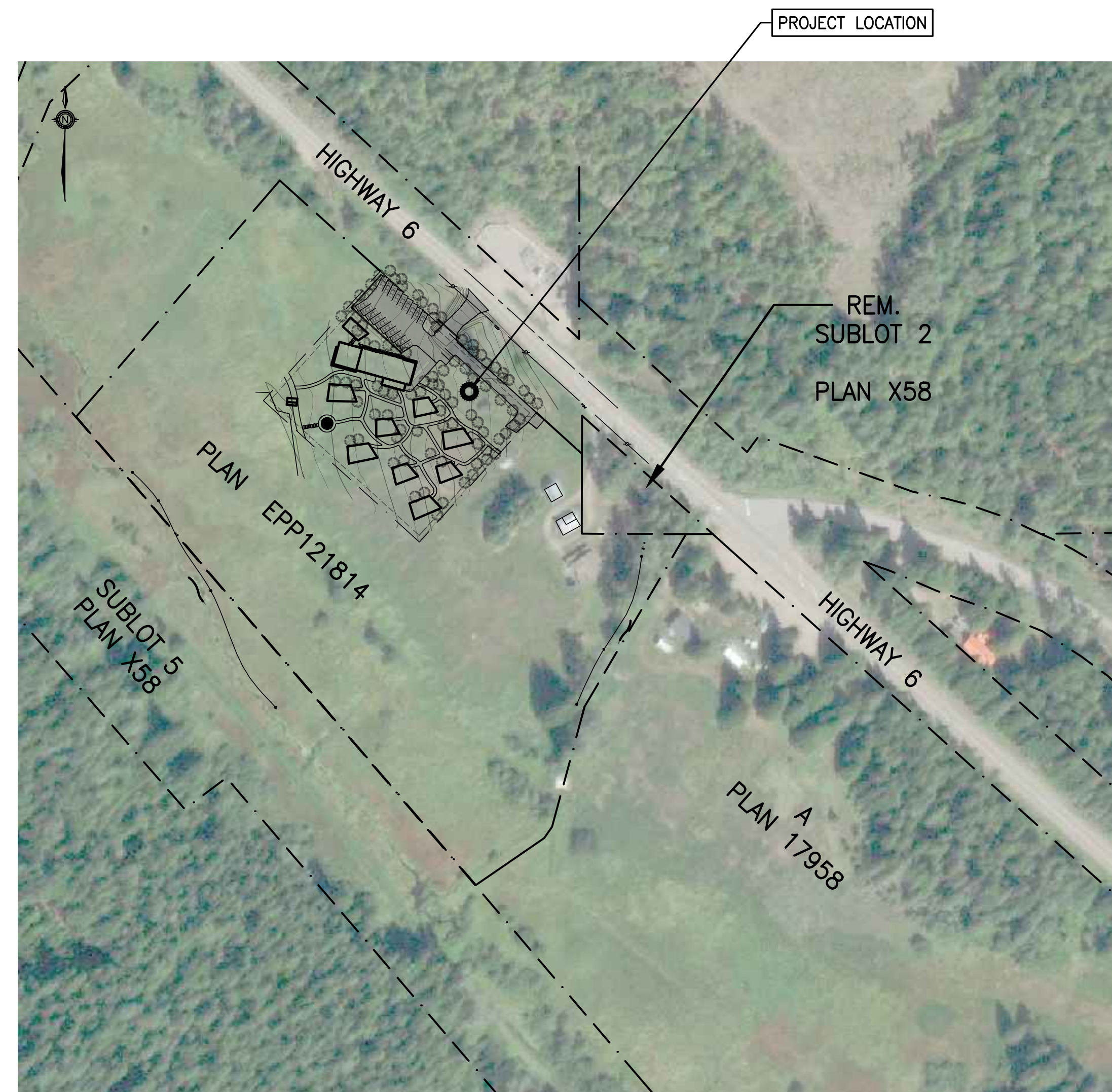
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Drawing Title
Main Hall Sections

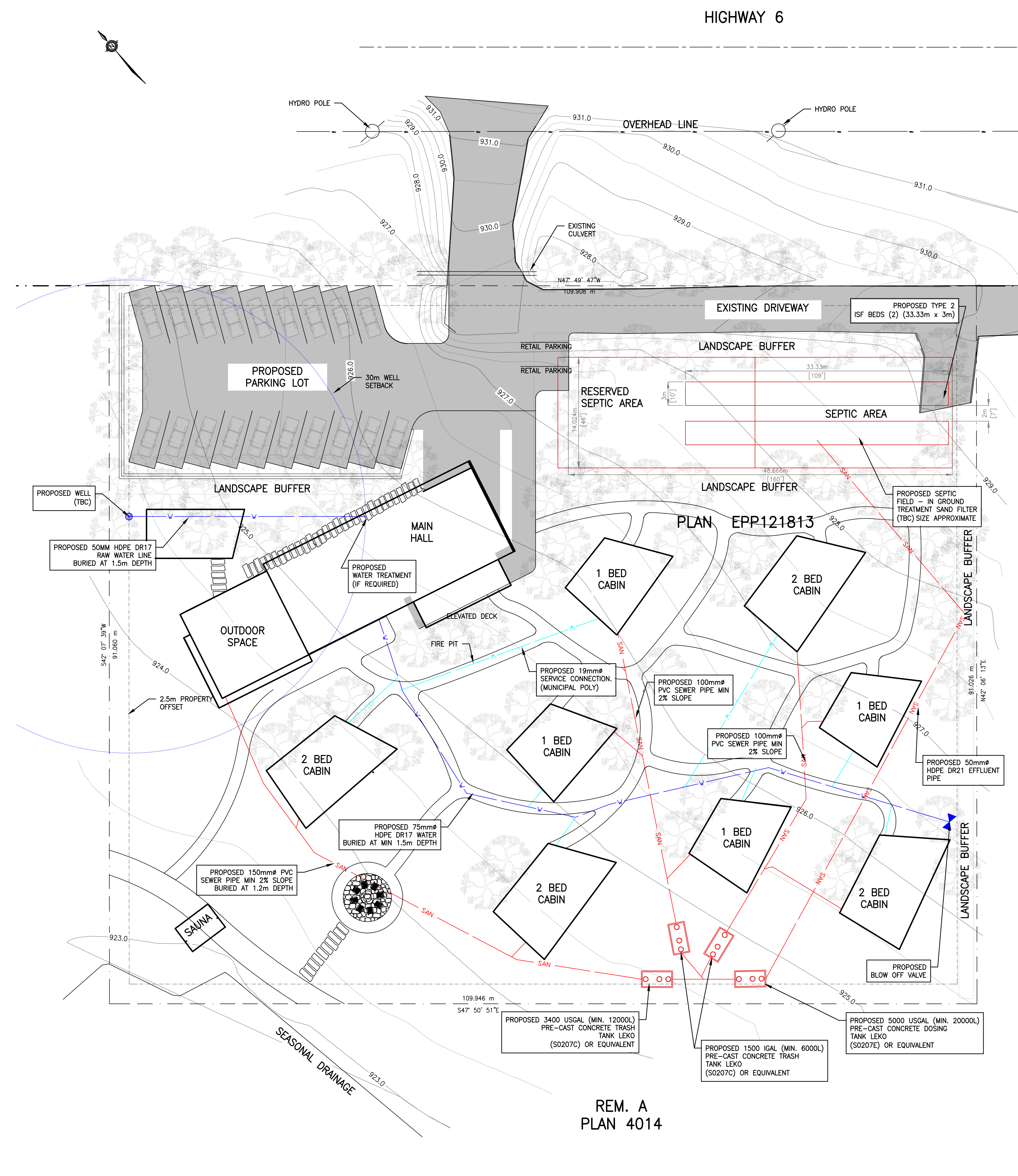
A402



KEY MAP
SCALE-NTS



SITE LOCATION
SCALE-1:2000



SITE PLAN VIEW
SCALE-1:300

**PRELIMINARY
NOT FOR CONSTRUCTION**

- LEGEND:**
- PROPOSED WATER SERVICE
 - PROPOSED WATER MAIN
 - PROPOSED SEPTIC SEWER
 - PROPERTY LINE
 - 2.5m PROPERTY OFFSET
 - EXISTING CONTOUR
 - EXISTING POWER LINE
 - EXISTING ROAD CENTERLINE

GENERAL NOTES:

ALL DIMENSIONS ARE SPECIFIED IN METERS UNLESS OTHERWISE STATED.

LOT PLAN BASED ON ROCK MAPPING DATA AND SURVEY CARRIED OUT BY CLIENT. HIGHLAND CONSULTING IS NOT LIABLE FOR INACCURACIES IN DRAWING.

SCALE IS BASED ON ARCH EXPANDED D (24"x36") DRAWINGS.

NO VARIATION TO THIS DRAWING SHALL BE PERMITTED UNLESS AUTHORIZED BY ENGINEER IN WRITING.

THIS PLAN SET IS BASED UPON THE EXPECTED FLOWS AND WASTE STRENGTHS PROVIDED HEREIN FOR THE PURPOSE OF SERVING 4 ONE BEDROOM CABINS, 4 TWO BEDROOM CABINS AND A MAIN HALL. ANY CHANGE IN USAGE THAT WOULD AFFECT FLOWS OR WASTE STRENGTH REQUIRES A REVIEW BY THE DESIGNER.

ONCE A FACILITY IS PLACED INTO OPERATION, THE FLOWS AND WASTE STRENGTHS TO THE FACILITY SHOULD BE MONITORED TO STANDARD PRACTICE MANUAL CRITERIA. IF FLOW OR ANY OF THE INFLUENT WASTE STRENGTHS EXCEED THOSE LISTED IN THE DESIGN, MEASURES SHOULD BE TAKEN TO REDUCE THESE PARAMETERS TO THOSE LISTED ON THE PLAN SET. OTHERWISE ADDITIONAL TREATMENT CAPACITY AND PLANT EXPANSION WILL BE NECESSARY.

AT CROSSINGS WHERE THE VERTICAL SEPARATION BETWEEN THE WATER MAIN AND THE SEWER MAIN IS LESS THAN 450mm, ALL JOINTS WITH IN 3.0m OF THE CROSSING SHALL BE WRAPPED WITH DENSOTAPE OR EQUIVALENT.

NO CLEANING CHEMICALS TO BE USED IN HOME CONTAINING ANTIMICROBIAL CHEMICALS INCLUDING (BUT NOT LIMITED TO) FORMALDEHYDE, RESTAURANT CLEANERS, FLOOR WAX, STRIPPER AND OTHER TOXICS.

SEPTIC TANK TO MEET SPECIFICATIONS OF SEWAGE SYSTEM STANDARD PRACTICE MANUAL AND CURRENT CSA STANDARDS.

SEWAGE SYSTEM TO BE INSTALLED BY AUTHORIZED PERSONS.

ALL SETBACKS TO MEET CRITERIA AS SET OUT IN STANDARD PRACTICE MANUAL 3

AERIAL IMAGERY FROM ROCK MAPPING IMPORTED DECEMBER 12, 2022

REV.	DESCRIPTION	DATE
D	ISSUED TO CLIENT	17-APR-23
C	ISSUED TO CLIENT	04-JAN-23
B	ISSUED TO CLIENT	14-DEC-22
A	FOR REVIEW	12-DEC-22

HIGHLAND CONSULTING LTD
210-501 FRONT ST
Nelson, BC
V1L 4B6
Canada
C 250 551 1416
pkernan@highlandconsultingltd.com

This drawing not to be used for construction purposes until noted and dated 'Issued for Construction'. All measurements must be checked on site and verified with the drawings by Contractor.

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PROJECT TITLE
RUMBLING CREEK CABINS
4500 HIGHWAY 6
SEPTIC

DRAWING TITLE
GENERAL LAYOUT

CLIENT NAME
RUMBLING CREEK RESORT LTD.

SCALE: REFER TO DWG	JOB No. 22570
DRAWN: JH	REVISION
CHECKED: PK	DWG. No. S01
DATE: 17-Apr-23	
PLDT: 17-Apr-23	

FILE: C:\Users\pkernan\OneDrive\Documents\22570_4500 Highway 6 Septic Plan 22570_4500.dwg

RUMBLING CREEK CABINS

Issued For RZ/DP Application

Legal Address: LOT 1 DL 1241 KD PLAN EPP121813

RUMBLING CREEK RESORT LTD. // CLIENT

Jason Newton
jason@hugoreid.com
236-999-9727

ARCHITECT BUSINESS NAME // ARCHITECT

Jerry Liu
jerry@bla-design.com
778-318-9958

LOCI LANDSCAPE ARCHITECTURE + URBAN DESIGN // LANDSCAPE ARCHITECT

Mike Enns, BCSLA CSLA // Principal
mike@locidesign.ca
604.763.2886

David Stein // Project Coordinator
david@locidesign.ca
604.694.0053

LANDSCAPE DRAWING INDEX PERMIT

Sheet No.	Sheet Name
L0.0	COVER SHEET
L1.0	LANDSCAPE ILLUSTRATIVE PLAN
L2.0	MATERIALS PLAN
L3.0	PRELIMINARY GRADING PLAN
L4.0	TREE PLANTING PLAN
L4.1	SHRUB PLANTING PLAN
L5.0	PLANT LIST + IMAGES
L6.0	PRECEDENT IMAGES

GENERAL NOTES

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION.
2. ALL PLANTING AREAS TO RECEIVE AUTOMATIC DRIP IRRIGATION, WITH TIME CLOCK AND RAIN SENSOR
3. ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS, DETAILS, SPECIFICATIONS, AND ANY OTHER CORRESPONDENCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
4. IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.
5. ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.
6. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE CONSULTANT TEAM. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVICE.
7. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.
8. LAYOUT OF PAVING, WALLS, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER LANDSCAPE MATERIALS IS TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
9. ALL DIMENSIONS AND ELEVATIONS ARE IN FEET UNLESS OTHERWISE NOTED. VERIFY ALL ELEVATIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT TEAM FOR REVIEW AND RESPONSE.
10. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
11. PROTECT ALL EXISTING STRUCTURES
12. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.
13. FINAL PLANT SPACING, QUANTITY AND TREE PLACEMENT HAS BEEN REVIEWED TO THE SATISFACTION OF GENERAL MANAGER OF ENGINEERING SERVICES.
14. LOCI LANDSCAPE ARCHITECTURE + URBAN DESIGN DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES OR CONCEALED STRUCTURES AT THE PROJECT SITE.

loci

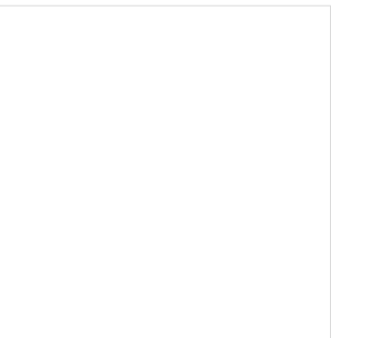
LANDSCAPE ARCHITECTURE + URBAN DESIGN

1738 KINGSWAY, VANCOUVER, BC V5N 2S3
www.locidesign.ca // 604.694.0053

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AND URBAN DESIGN. USE OR REPRODUCTION
PROHIBITED WITH PRIOR WRITTEN CONSENT.

Project Stamp



Issue

No.	Description	Date
A	Issued for Preliminary Landscape Concepts	23-03-16
B	Issued for Concept Update	23-03-28
C	Issued for RZ/DP	23-05-02

Project Info

23055

Rumbling Creek Cabins

Nelson, BC

Project Team

Client
Rumbling Creek Resort Ltd.

Architect
BLA Design Group

Landscape Architect
LOCI Landscape Architecture + Urban Design

Drawn By	Checked By
DS	ME

COVER SHEET

L0.0

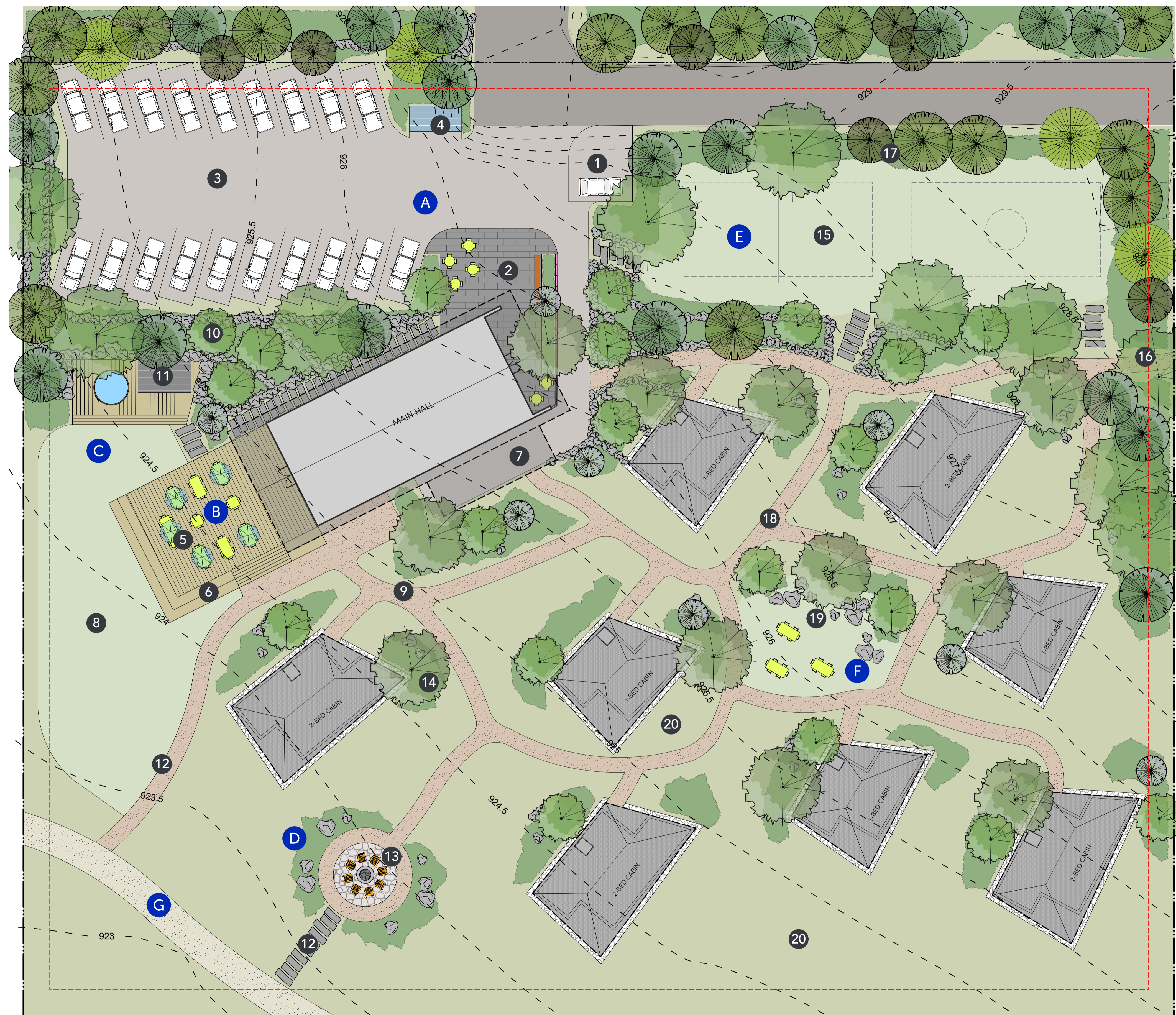
Rev. A revision

LANDSCAPE DESIGN RATIONALE

THE LANDSCAPE DESIGN FOR THIS PROJECT TAKES INTO ACCOUNT THE NUMEROUS FEATURES OF THIS SLOPED SITE, MAXIMIZING VIEWS TO THE WEST WHILE BALANCING A PLEASANT EXPERIENCE NAVIGATING THE SITE AND VARIOUS AMENITIES. NATURALIZED PLANTING SCREENS THE BUILDINGS FROM THE SURROUNDING CONTEXT AND PROVIDES PRIVACY TO THE CABINS AND EVENT SPACES. DECK AREAS FOR SOCIALIZING AND GATHERING ARE COMPLEMENTED BY FLEXIBLE MOWED LAWNS THAT CAN BE USED FOR GAMES AND RECREATION. CLUSTERS OF TREES AND SHRUBS PUNCTUATE THE MEADOW GRASS WILDFLOWER LANDSCAPE THROUGHOUT THE SITE. THE SECONDARY LAWN SPACE AMONGST THE CABINS PROVIDES A FAMILY RELAXATION AREA WITH PICNIC TABLES AND A FIREPIT LEADING TO THE SEASONAL RECREATIONAL TRAIL AT THE SOUTHWEST CORNER OF THE SITE OPENING UP TO EXPANSIVE VIEWS OF THE MOUNTAINS.

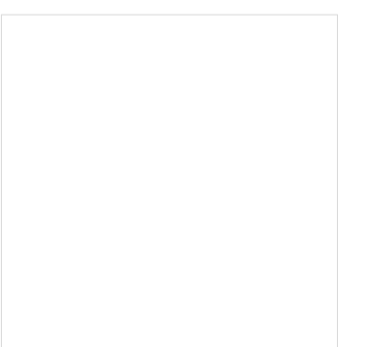
KEY LEGEND

- A** ARRIVAL COURT + PARKING
- 1** RETAIL PARKING
- 2** FRONT ENTRY FEATURE PAVERS + BENCH SEATING + CAFE TABLES
- 3** GRAVEL PARKING LOT
- 4** GARBAGE ENCLOSURE
- B** SOCIAL DECK (RAISED)
- 5** RAISED DECK WITH MOVEABLE FURNITURE
- 6** SEAT STEPS / AMPHITHEATRE
- 7** ACCESS DRIVE WITH CONCRETE RETAINING WALL
- C** OVERLOOK LAWN + SAUNA / COLD PLUNGE
- 8** MOWED LAWN WITH EXPANSIVE VIEWS
- 9** PERIMETER PATHS - CRUSHED GRANULAR
- 10** NATURALIZED BUFFER PLANTING SCREENING PARKING LOT + GRADE TRANSITION
- 11** SAUNA + COLD PLUNGE WITH DECK BUILT INTO SLOPE
- D** "MEADOW" LOUNGE
- 12** PATH TO RECREATION TRAIL
- 13** LARGE FIRE PIT WITH LOUNGE SEATING
- 14** NATURALIZED PLANTING WITH PERENNIALS
- E** MULT-USE LAWN / SEPTIC FIELD
- 15** MOWED LAWN / FOR GAMES / RECREATION
- 16** PATH TO ROAD
- 17** BUFFER PLANTING TO SCREEN ROAD
- F** CENTRAL COMMON AREA
- 18** GRAVEL PATH 5' WIDE
- 19** PICNIC TABLES + SEATING BOULDERS
- 20** MEADOW GRASSES + WILD FLOWERS + NATURALIZED PLANTING
- G** RECREATIONAL PATH (3m WIDTH) - CRUSHED GRANULAR



1 LANDSCAPE ILLUSTRATIVE PLAN
Scale: 1:200

Project Stamp



Issue

No.	Description	Date
A	Issued for Preliminary Landscape Concepts	23-03-16
B	Issued for Concept Update	23-03-28
C	Issued for RZ/DP	23-05-02

Project Info

23055

Rumbling Creek Cabins

Nelson, BC

Project Team

Client
Rumbling Creek Resort Ltd.

Architect
BLA Design Group

Landscape Architect
LOCI Landscape Architecture + Urban Design

Drawn By: DS
Checked By: ME

LANDSCAPE ILLUSTRATIVE PLAN

L1.0

Rev. A revision

GENERAL LAYOUT + MATERIALS NOTES:

1. ALL DIMENSIONS ARE METRIC UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW AND RESPONSE.
2. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
3. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
4. THE LAYOUT OF ALL HARDSCAPE ITEMS, SITE FURNISHINGS, BOULDERS, LANDSCAPE LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.

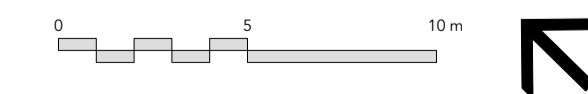
MATERIALS LEGEND

SYMBOL	KEY	DESCRIPTION
	P1	PAVING TYPE 1: GRAVEL PARKING LOT Compacted 3/4" Minus Road Mulch
	P2	PAVING TYPE 2: MAIN HALL ENTRY PAVING Precast Concrete Unit Pavers By Barkman Size: 900 X 450 X 100 mm - Colour: Ash
	P3	PAVING TYPE 3: GRAVEL PATHWAYS 3/8" Minus Limestone Rock Dust
	P4	PAVING TYPE 4: STONE SLAB PAVING Basalt Stone Slabs - Size Varies
	P5	PAVING TYPE 5: FIREPIT PAVING Storm Mountain Select Flagstone 1'-2" By Northwest Landscape Supply
	P6	PAVING TYPE 6: ACCESS ROAD PAVING By Others
	P7	PAVING TYPE 7: RAIN SPLASH STRIP Locally Sourced 3" Rock Mulch
	D1	WOOD DECKING Thermally Modified Ash By Scotty Wood
	S1	MOVEABLE BANQUET TABLES + BENCH Product TBD, by Owner
	S2	MOVEABLE CAFE TABLES + CHAIRS Product TBD, by Owner
	S3	STONE FIRE PIT Product TBD, by Owner
	S4	LOUNGE CHAIRS Product TBD, by Owner
	S5	ENTRY PLAZA BENCH Heavy Timber Bench, 4.7m Length
	B1	GARBAGE ENCLOSURE By Others
	B2	NORDIC SAUNA By Others
	B3	COLD PLUNGE TUB by Others
	W1	BOULDER / BOULDER WALLS Locally Sourced Granite Size: 300 - 400 mm
	W2	CONCRETE RETAINING WALL CIP Concrete Wall with Guardrail (1070mm Ht.) To be Coordinated with Structural and Geotechnical Engineer
	L1	NATURALIZED PLANTING Assorted Deciduous and Coniferous Trees, Shrubs, Grasses, Perennials, and Boulder Clusters
	L2	LAWN HYDROSEED MIX - REGULARLY MOWED Native Grass Species
	L3	PERENNIAL HYDROSEED MIX - MOWED ONCE PER YEAR Colourful Native Perennials + Grass Species



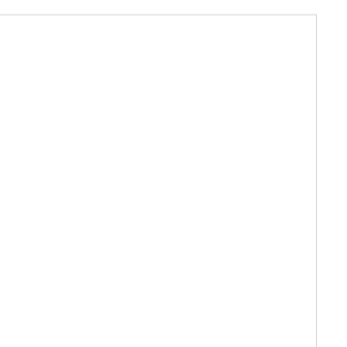
1 MATERIALS PLAN
Scale: 1:200

RECREATIONAL PATH (CRUSHED GRANULAR) TO BE BUILT AND COORDINATED WITH OFFSITE TRAIL NETWORK



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Drawn By: DS | Checked By: ME

MATERIALS PLAN

L2.0

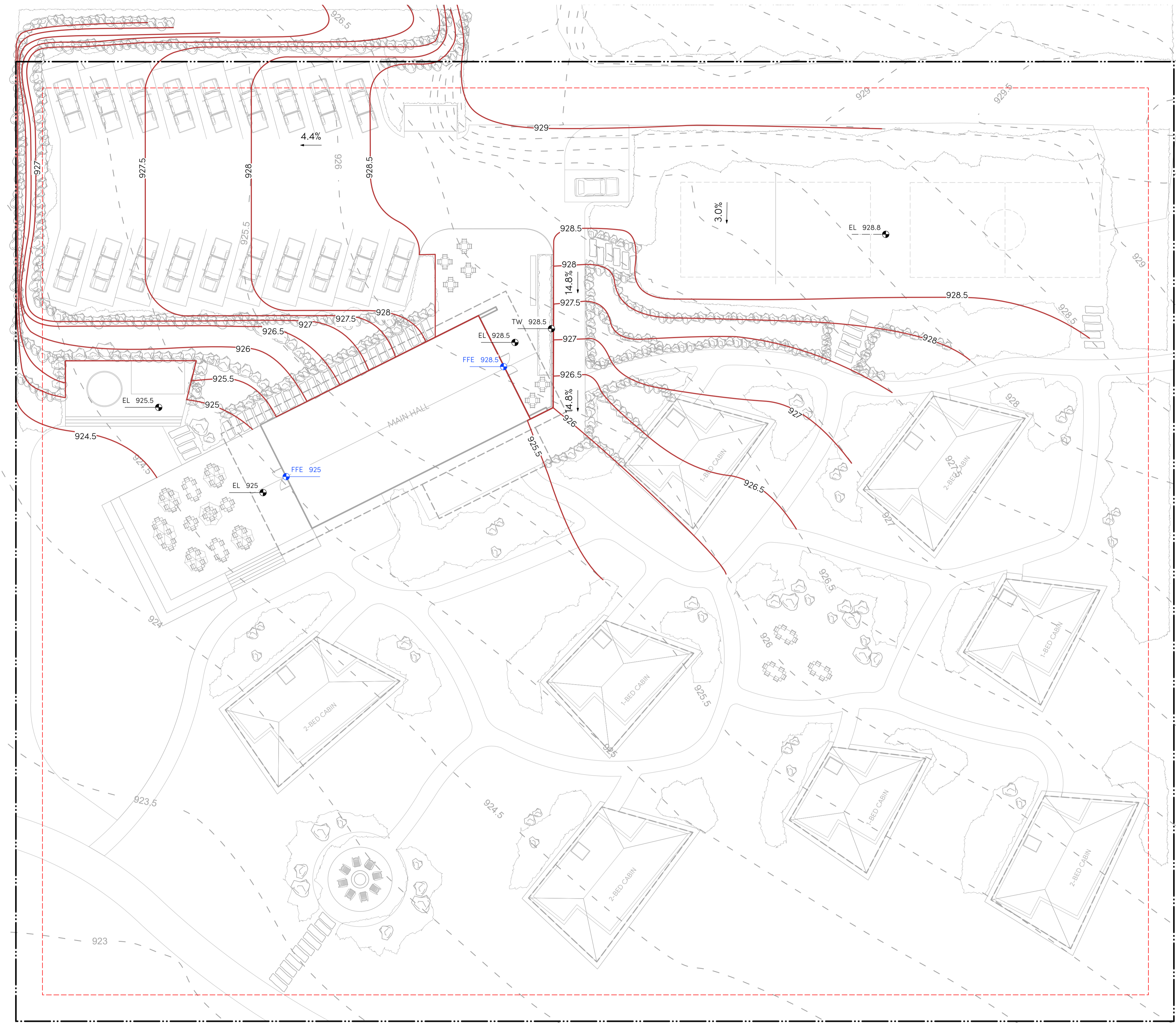
Rev. A revision

GENERAL GRADING NOTES:

1. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
2. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
3. THE LAYOUT OF ALL PROPOSED HARDSCAPE ITEMS, SITE FURNITURE, LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.
5. REFER TO CIVIL FOR EXCAVATION DEPTHS, BACKFILL, AND BASE MATERIAL FOR ALL LANDSCAPE ITEMS SHOWN ON PLAN.
6. SLOPE SHALL MATCH EXISTING GRADE ALONG ALL PROPERTY LINES.
7. REFER TO CIVIL ENGINEER'S PRECISE GRADING PLANS FOR SITE GRADING PLANS FOR SITE GRADING, DRAINAGE, AND UTILITY LOCATIONS. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE LANDSCAPE ARCHITECT'S PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED.
8. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION AND ELEVATION IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
9. ALL PROPOSED GRADES ARE TO MEET AND BLEND IN WITH EXISTING GRADING AT PROJECT LIMITS, GRADING LIMITS, AND EXISTING SIDEWALK. PRECISE ELEVATIONS INDICATED ON PLANS TO BE VERIFIED IN FIELD TO AS-BUILT CONDITION.
10. THE DEBRIS CREATED BY LANDSCAPE GRADING OPERATIONS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF LEGALLY OFF SITE.
11. FINAL GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION OF PLANTING.

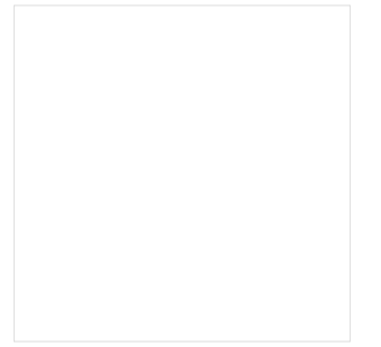
GRADING LEGEND

SYMBOL	DESCRIPTION
FFE 0.00	PROPOSED BUILDING FINISHED FLOOR ELEVATION
EL 0.00	PROPOSED ELEVATION
TW 0.00	TOP OF WALL ELEVATION
2%	SLOPE AND DIRECTION
928.5	PROPOSED CONTOUR
---	EXISTING CONTOUR



1 PRELIMINARY GRADING PLAN
Scale: 1:200

Project Stamp



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Nelson, BC






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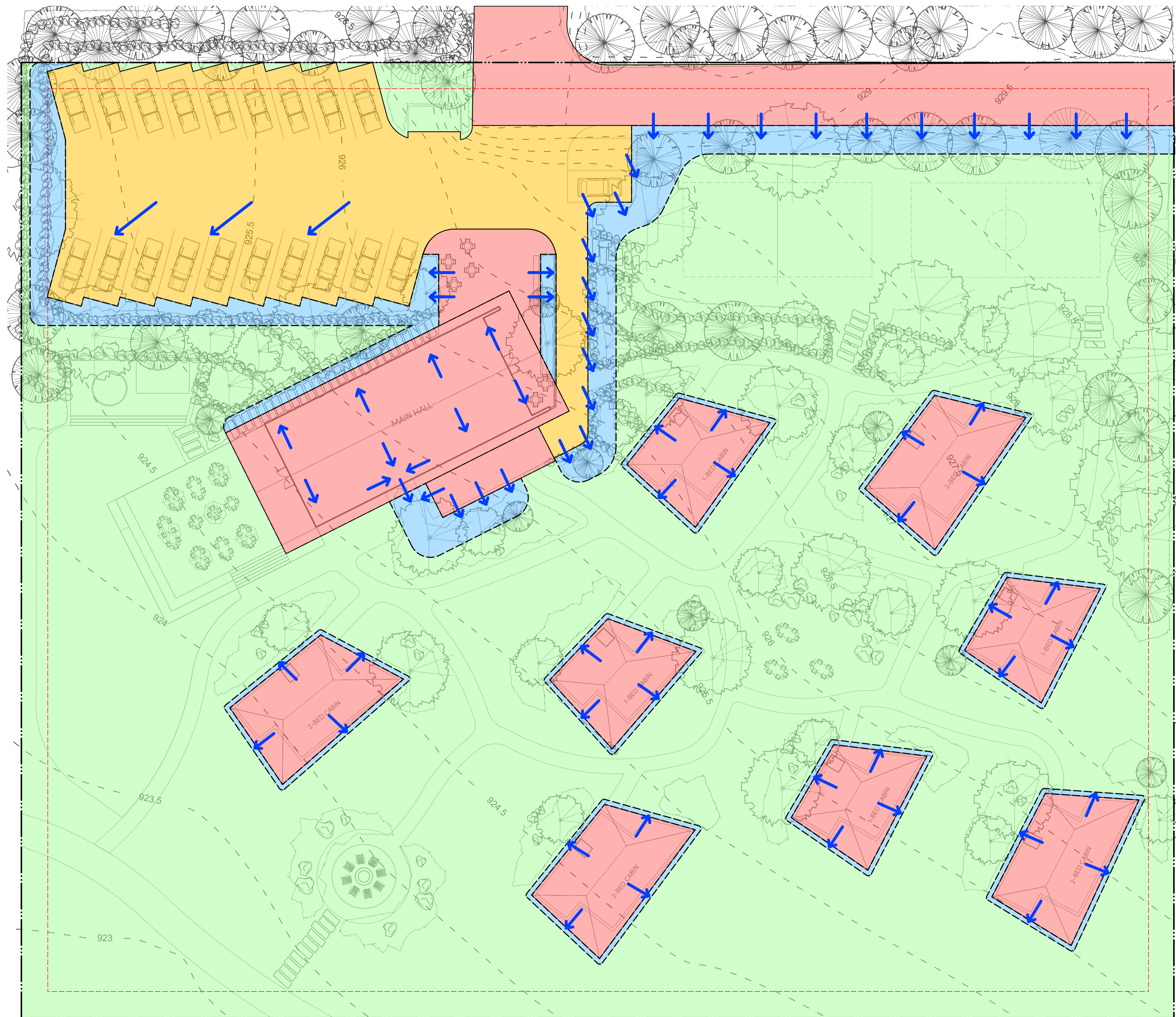
Client
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Landscape Architect
LOCI Landscape Architecture + Urban Design

Drawn By	Checked By
DS	ME

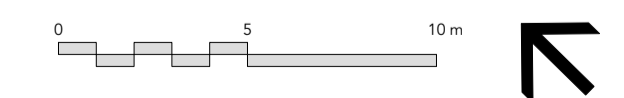
PRELIMINARY GRADING PLAN
L3.0
Rev. A revision

STORMWATER STRATEGY LEGEND

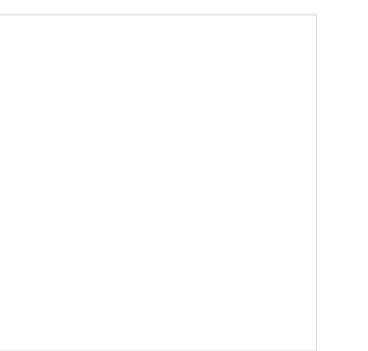
SYMBOL	DESCRIPTION
	IMPERMEABLE SURFACE (ROOF, PAVING)
	SEMI-PERMEABLE SURFACE (PARKING LOT)
	PERMEABLE SURFACE (PLANTED AREAS, DECKING, PATHWAYS)
	SURFACE RUN-OFF COLLECTION + ABSORPTION AREA
	SURFACE FLOW DIRECTION



1 STORMWATER MANAGEMENT STRATEGY
Scale: 1:200



Project Stamp



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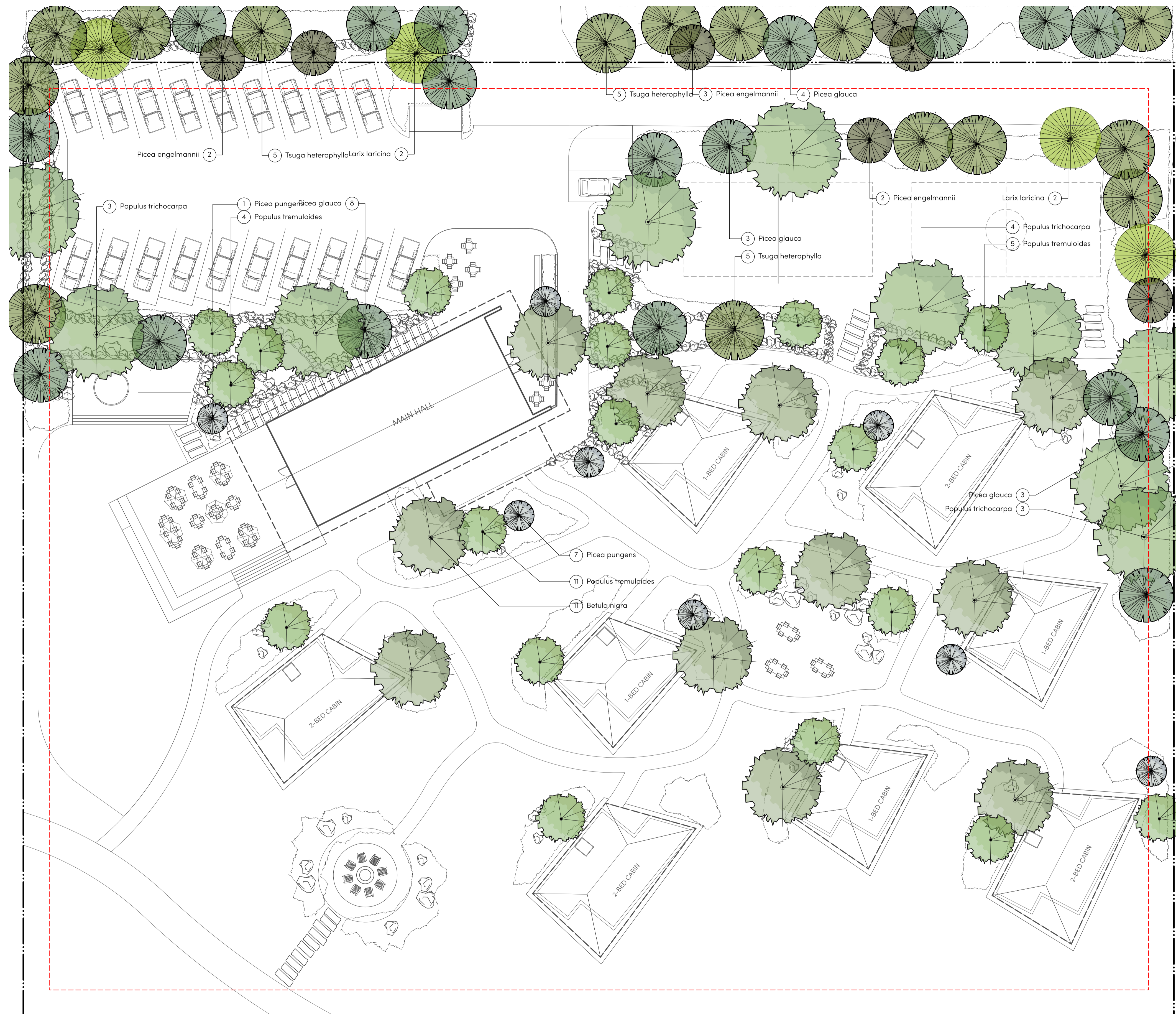
STORMWATER MANAGEMENT STRATEGY

L3.1

Rev. A revision

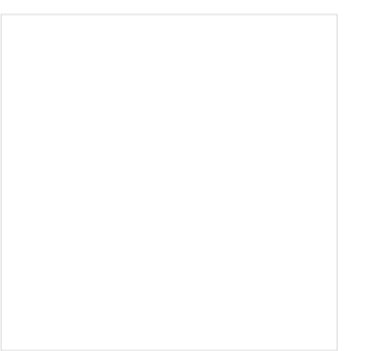
GENERAL PLANTING NOTES:

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION
2. ALL TREE AND SHRUB AREAS TO BE MULCHED WITH 50MM (2") OF MEDIUM FINE MULCH, LESS THAN 50MM (2") DIAMETER.
3. ROOTZONE TO REST ON TAMPED PLANTING SOIL
4. SHRUBS: PREPARE PLANTING HOLES AS SPECIFIED. PLANT AT THE SAME GRADE AS NURSERY. WATER AND FERTILIZE AS SPECIFIED. ENSURE POSITIVE DRAINAGE THROUGHOUT PLANTING BED
5. TREE: PREPARE PLANTING HOLES AS SPECIFIED INSTALL TOP OF ROOTZONE 6" ABOVE FINISHED GRADE OF GROWING MEDIUM. WATER AND FERTILIZE AS SPECIFIED BY NURSERY.
6. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION SPACING TO BE APPROVED BY LANDSCAPE ARCHITECTS IN THE FIELD PRIOR TO INSTALLATION
7. IN CASE OF A DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL
8. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD
9. FINAL PLANT SPACING, QUANTITY AND TREE PLACEMENT TO BE REVIEWED TO THE SATISFACTION OF GENERAL MANAGER OF ENGINEERING SERVICES
10. ALL PLANTING BEDS TO RECEIVE AUTOMATIC DRIP IRRIGATION



1 TREE PLANTING PLAN
Scale: 1:200

Project Stamp



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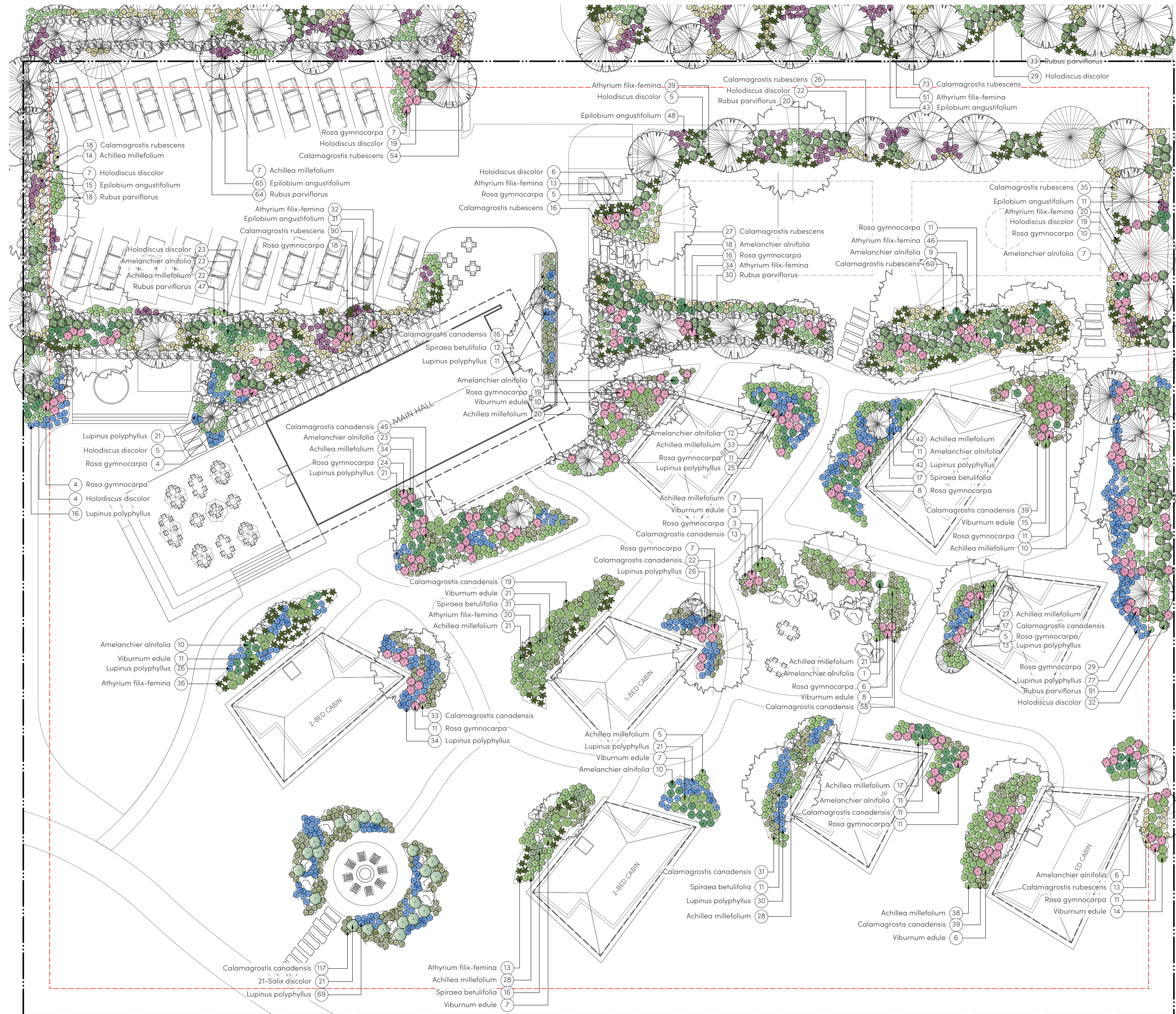
TREE PLANTING PLAN

L4.0

Rev. A revision

GENERAL PLANTING NOTES:

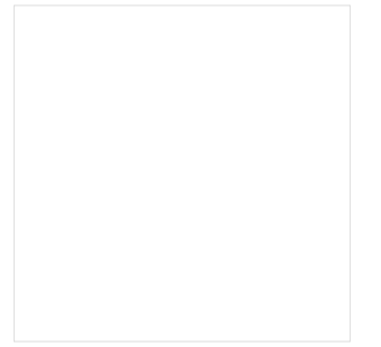
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7. IN CASE OF A DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL
8. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD
9. FINAL PLANT SPACING, QUANTITY AND TREE PLACEMENT TO BE REVIEWED TO THE SATISFACTION OF GENERAL MANAGER OF ENGINEERING SERVICES
10. ALL PLANTING BEDS TO RECEIVE AUTOMATIC DRIP IRRIGATION



1 SHRUB PLANTING PLAN
Scale: 1:200

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Drawn By	Checked By
DS	ME

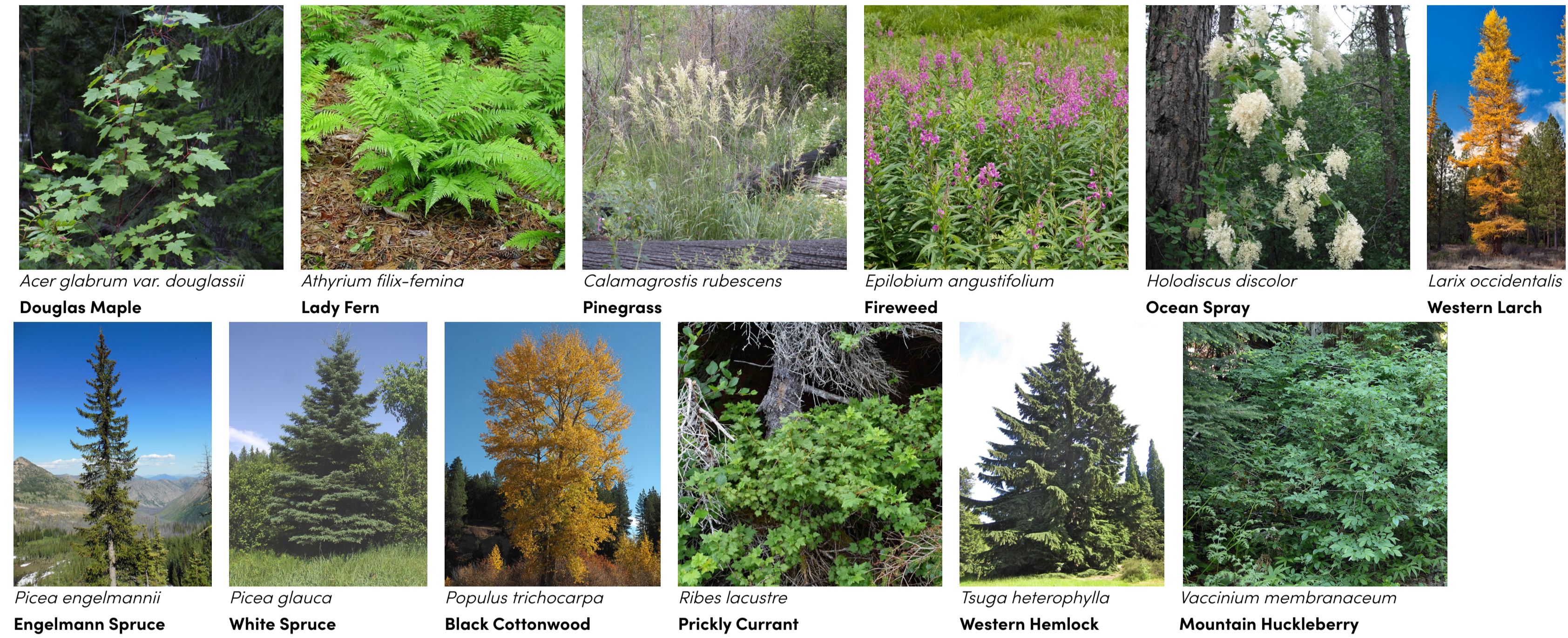
PLANT LIST

Symbol	Quantity	Botanical Name	Common Name	Scheduled Size	Spacing	Notes
DECIDUOUS TREES:						
		<i>Betula nigra</i>	River Birch	7cm cal.	As Shown	B&B
		<i>Populus tremuloides</i>	Trembling Aspen	7cm cal.	As Shown	B&B
		<i>Populus trichocarpa</i>	Black Cottonwood	7cm cal.	As Shown	B&B
CONIFERS:						
		<i>Larix laricina</i>	American Larch	3.5m ht.	As Shown	B&B
		<i>Picea engelmannii</i>	Engelman's Spruce	3.5m. ht.	As Shown	B&B
		<i>Picea glauca</i>	White Spruce	3.5m ht.	As Shown	B&B
		<i>Picea pungens</i>	Colorado Blue Spruce	3.5m ht.	As Shown	B&B
		<i>Tsuga heterophylla</i>	Western Hemlock	4m ht.	As Shown	B&B
SHRUBS:						
		<i>Amelanchier alnifolia</i>	Saskatoon Berry	#3 Pot	0.8 m o.c.	
		<i>Holodiscus discolor</i>	Ocean Spray	#3 Pot	0.9m o.c.	
		<i>Rosa gymnocarpa</i>	Baldhip Rose	#3 Pot	0.9 m o.c.	
		<i>Rubus parviflorus</i>	Thimbleberry	#2 Pot	0.6 m o.c.	
		<i>Salix discolor</i>	Pussy Willow	#3 Pot	1.2 m o.c.	B&B
		<i>Spiraea betulifolia</i>	Birch Leaf Spirea	#2 Pot	0.6 m o.c.	
		<i>Viburnum edule</i>	Highbush Cranberry	#3 Pot	0.9 m o.c.	
PERENNIALS, GRASSES, GROUND COVER:						
		<i>Achillea millefolium</i>	Yarrow	#1 Pot	0.6 o.c.	
		<i>Calamagrostis canadensis</i>	Bluejoint	#2 pot	0.6 o.c.	
		<i>Calamagrostis rubescens</i>	Pine grass	#2 pot	0.6 o.c.	
		<i>Epilobium angustifolium</i>	Fireweed	#1 Pot	0.6 o.c.	
		<i>Lupinus polyphyllus</i>	Big Leaf Lupine	#1 Pot	0.6 o.c.	

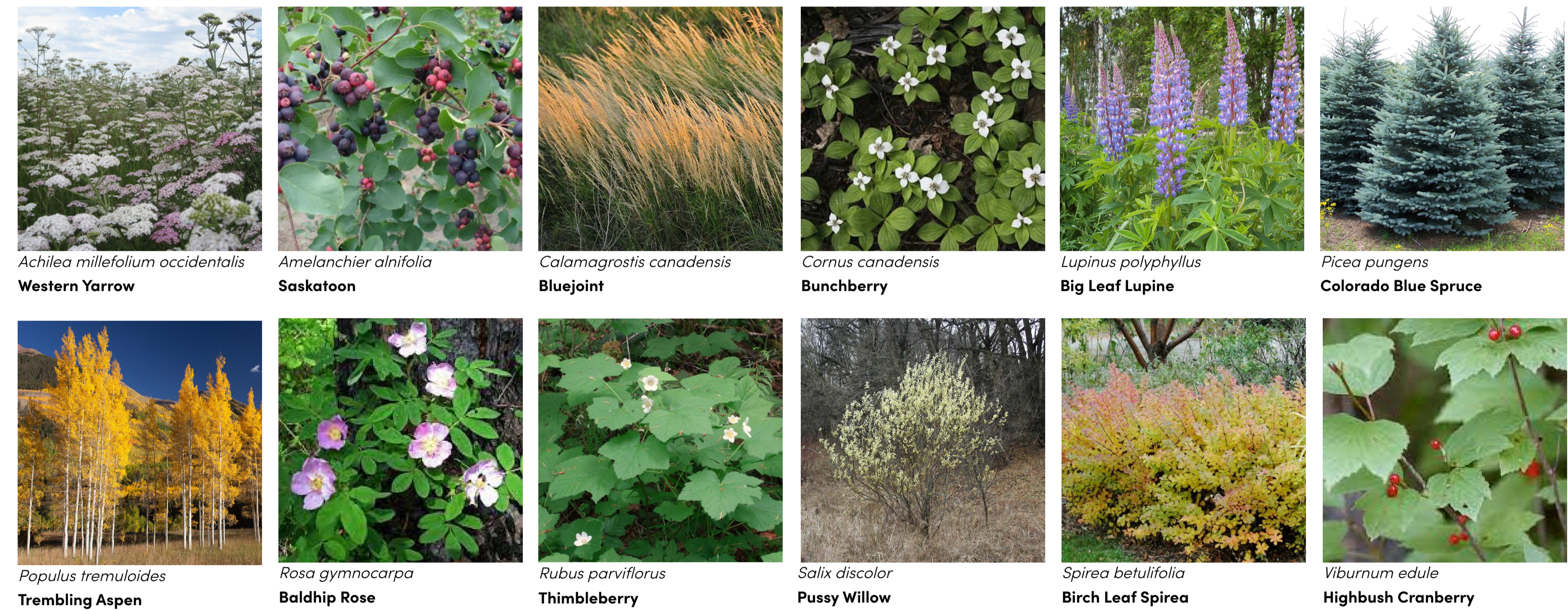
Native Species listed can be found at Nupqu Native Plant Nursery

PLANT IMAGES

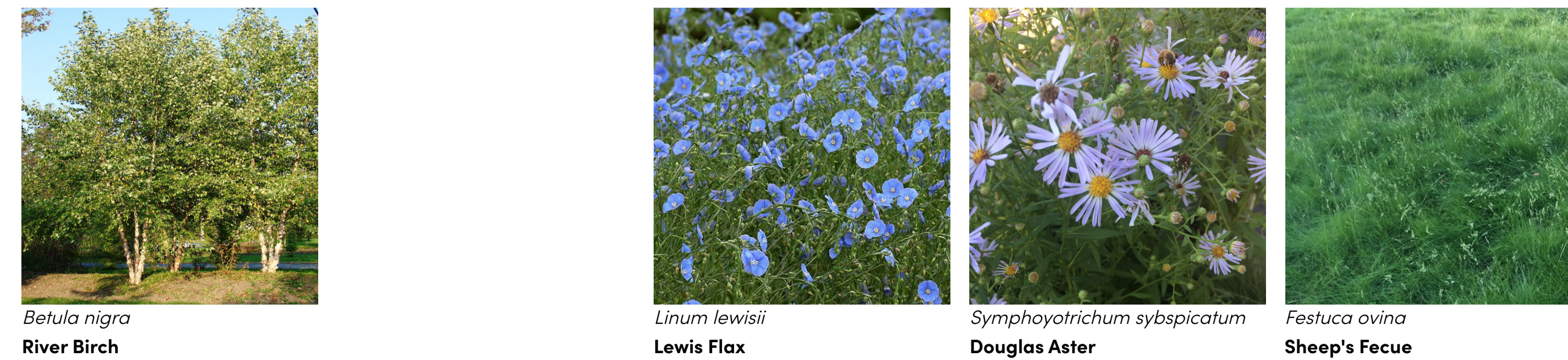
SCREENING TREES AND SHRUBS



NATURALIZED TREE AND SHRUB CLUSTERS



HYDROSEED MEADOW MIX



loci

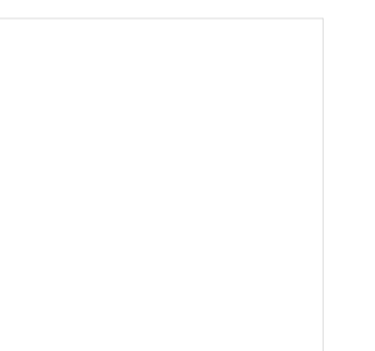
LANDSCAPE ARCHITECTURE + URBAN DESIGN

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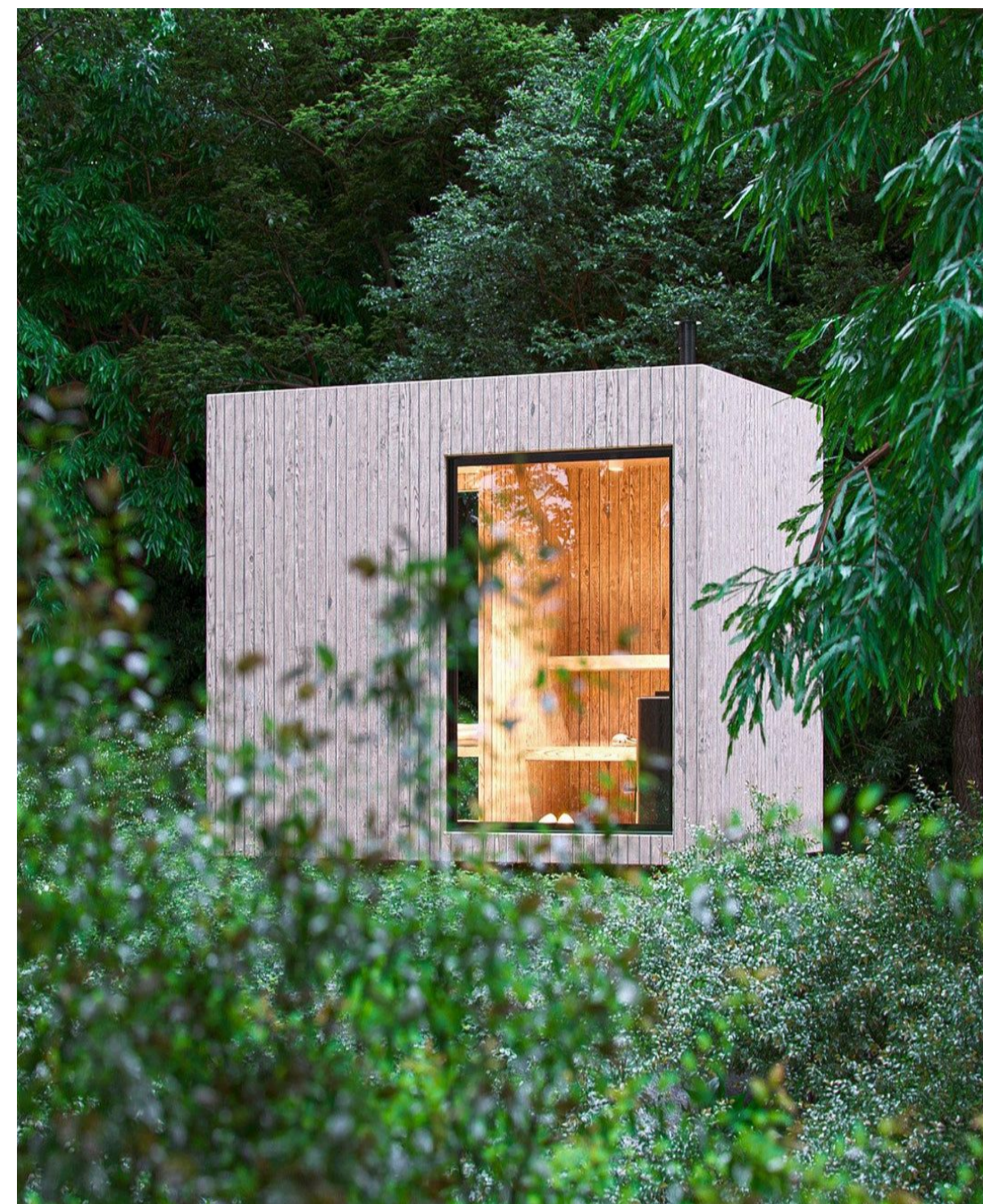
Architect
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Drawn By DS | Checked By ME

PLANT LIST + IMAGES

L5.0

Rev. A revision



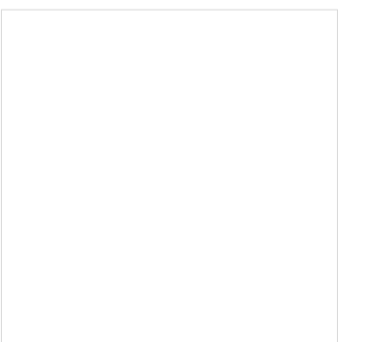
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DS

Checked By
ME

PRECEDENT IMAGES

L6.0

Rev. A revision